

## CODE INFORMATION

Designed under:

2012 Virginia Rehabilitation Code  
2012 Virginia Construction Code (as applicable)  
ICC / ANSI A117.1:2003

Project is for the renovation of 1,382 SF of vacant space to become Retail Antiquities Store.

Type of Construction is 3B (Existing 2 hour masonry exterior walls - Interior of combustible construction)

A sprinkler system will NOT be installed.

% Open Perimeter = Under 25% - N/A  
(With 30' min. open width)

Table 503 Area Limitation for "B" use and 3B construction = 19,000 SF  
Frontage Increase per Section 506.2 = 0%  
Sprinkler Increase per Section 506.3 = 0%  
Equation 51 = Allowable Fire Area = 19,000 + 0 + 0 = 19,000 SF

Actual Building Areas = 1,382 SF

Building Height (no sprinkler increase):

Allowable = 55' & 3 stories  
Actual = ±16' & 1 story (existing to remain)

Building Occupancy: TBD

Number of required exits = 2

Number of exits provided = 2

Required Fire Ratings:

Exterior walls - load bearing: 2 hour

Exterior walls - nonloadbearing: 0 hour

(See fire separation chart below)

Exit enclosures: 0 hour

Other shafts: 1 hour

(not applicable)

Exit access corridors: 1 hour

(but not less than shaft accessing)

Tenant separations: 0 hour

Dwelling Unit separation: 1 hour

(not applicable)

Fire Area Separation: 1 hour

(not applicable)

Fire & Party walls: 2 hour

Smoke partitions: 1 hour

(not applicable)

Roof construction: 0 hour

Floor construction: 0 hour

(Unless part of Dwelling Unit Separation)

Corridor construction: 0 hour

(not applicable)

Interior load bearing and supporting construction: 0 hour

(but not less than the required rating of the structure to be supported)

Maximum Area of Exterior Wall Openings

0' - 3' Not Permitted

3' - 5' 15%

5' - 10' 25%

10' - 15' 45%

15' - 20' 75%

Greater than 20' No Limit

Front & Rear exterior walls are over 20' from center of street or property lines.

ADA and Accessibility guidelines will be met per the 2012 Virginia Rehabilitation Code

## PLUMBING FIXTURE REQUIREMENTS

EXISTING TO REMAIN UNCHANGED

Fixture Type	"B" use		Restaurant	
	Required	Provided	Required	Provided
Water Closet	2	1	1	3
Lavatories	2	1	1	3
Tub/ Shower	0	0	0	0
Drinking Fountain	2	0	2	2
Service Sink	1	1	1	2

## GENERAL NOTES

1. The General Contractor and subcontractor(s) shall inspect premises prior to bid submittal and work commencement to verify existing and indicated conditions. Should a Contractor find conditions which he believes would impede his work, he shall report such conditions immediately to the Architect. Failure to so advise will constitute notice that the Contractor accepts the existing conditions and that he intends to perform his obligations with no allowance either in time or money for any impediments to his work.

2. Each Contractor shall verify all dimensions and conditions in field. The drawings reflect conditions reasonably interpreted from the existing visible conditions, or from drawings or information furnished by the Owner, but cannot be guaranteed by the Architect. If dimensional errors occur or conditions not covered in the drawings are encountered, the Contractor shall notify the Architect before commencing that portion of the work.

3. All work shall comply with the 2012 Virginia Rehabilitation Code and Virginia Construction Code.

4. All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with the manufacturers' written specifications of instructions.

5. The General Contractor shall supervise and direct the work, using his best skill and attention. He shall be solely responsible for all construction and/or installation means, methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract.

6. Dimensions take precedence over scale on construction documents. Drawings may be rough scaled for estimating and general reference. Field verify all conditions prior to construction and/or fabrication.

7. All dimensions are given Finish unless noted otherwise.

8. All work shall be executed in a neat and workmanlike manner. Contractor shall keep the construction site free and clear of all debris and keep out all unauthorized persons. Upon completion of work, the entire construction area shall be completely cleaned to Architect & Owner's satisfaction.

9. When work not specifically called out is required to complete the project, the appropriate Contractor shall provide same and it shall be of the best materials and workmanship. If additional costs are required to complete the work, the Contractor shall notify the Architect prior to bid submittal and prior to starting the work, allowing a reasonable period of time for response and approval. No claims for extra compensation based on ignorance of visible or implied conditions or assumptions or disclaimers after the fact shall be considered.

10. The General Contractor and Sub-contractors shall guarantee in writing all workmanship and materials for a period of one year from the date of substantial completion and approval. Materials and/or equipment carrying a manufacturer's guarantee shall be covered by the maximum term offered by the manufacturer but in no case less than one year. All defects discovered during construction shall be repaired to the Owner's satisfaction, at the Contractor's and/ or Sub-contractor's expense, at no cost to the Owner or Architect.

11. Unless otherwise specifically noted, the General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, transportation, and other facilities and services necessary for proper execution and completion of the work.

12. The General Contractor shall obtain and pay fees for all required permits, schedule all required inspections, obtain all code approvals, etc. necessary for proper completion of the work.

13. Contractor shall coordinate all work procedures with local authorities, planning commissions, neighborhood associations, or building management or Board of Directors' requirements.

14. Contractor shall be responsible for the protection of all existing and new conditions and materials within the proposed construction area. Any damage caused by or during the execution of the work is the responsibility of the Contractor and shall be repaired or replaced to the Architect & Owner's satisfaction at the expense of the Contractor or Sub-contractor.

15. All penetrations through floor slabs and/ or roof systems, such as piping, conduit, ducts, etc., shall be packed and sealed off with fire-rated material and sealed against water penetration as appropriate to the assembly being penetrated.

16. Contractor to coordinate draft stopping locations (if required) with Architect.

## GENERAL PARTITION NOTES

1. Alignment of door heads and other critical horizontal elements shall be maintained at a constant level relative to the ceiling plane, and shall not follow variations in floor plane.

2. General contractor to notify Owner of date for partition layout. Layout to be approved by Owner before beginning construction.

3. Partition types above door are to be same as the adjacent partitions UNO.

4. All partitions joints shall be spackled, taped and sanded smooth with no visible joints.

5. All exterior corners of gypsum board shall have metal corner beads (screwed type), UNO.

6. All dimensions are shown from face of finish, UNO.

7. Dimensions indicated to be "clear" or "c/l" shall be maintained. Any discrepancies or variations in these dimensions shall be reviewed with the Owner before beginning construction.

8. Walls are partition type AI UNO.

9. Any dimension noted "Verify" or "VIF" must be reviewed with the Owner before beginning construction.

10. Provide and install wood blocking as required in partitions at door stops, wall hung shelving, cabinets, etc. Verify shop standard with millwork contractor and review with the Owner for acceptance prior to installation.

11. All partitions and millwork abutting to existing walls shall align with finished face of finished wall surface UNO.

12. Provide additional studs as required to achieve outlet groupings. Coordinate with Owner.

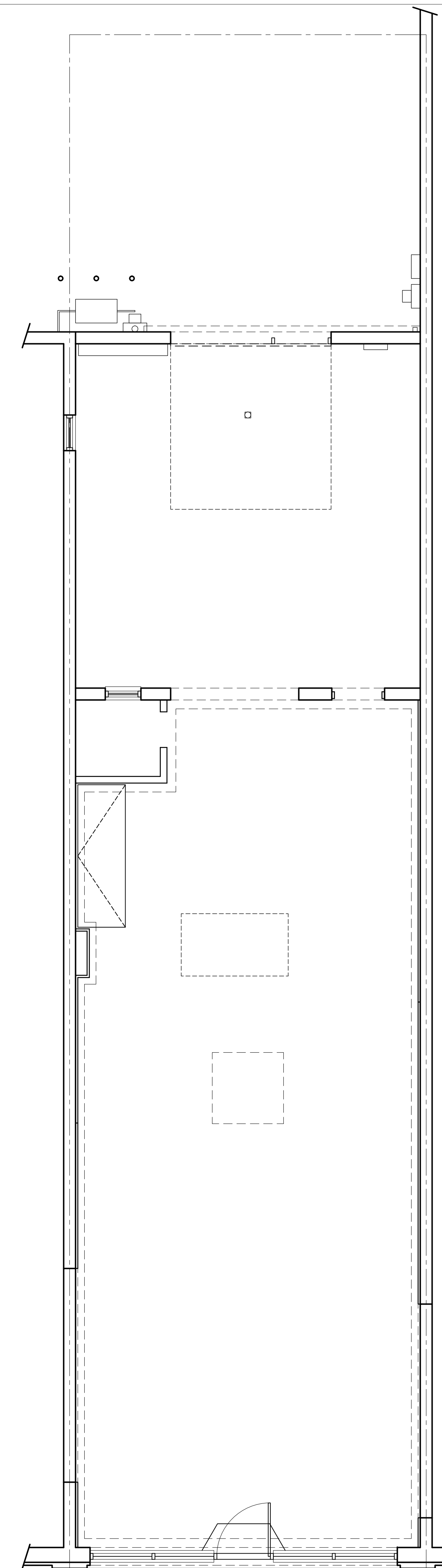
13. Coordinate blocking requirements for millwork with plans and details.

14. Contractor to identify existing areas to receive access panels. Coordinate exact locations and quantity with Owner. Access doors to be provided by Contractor and approved by Owner.

## DRAWING INDEX

A.01 Cover Sheet, General Notes, Code Information, & Demolition Plan

A.02 New Construction Floor Plan, ADA Information, Partition Types & Exterior Elevations



NOT FOR CONSTRUCTION

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Richmond VA 23227

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06 - 06 - 16  
Design Review 02

1126 N. Boulevard Renovation

Scott's Addition  
Richmond, Virginia

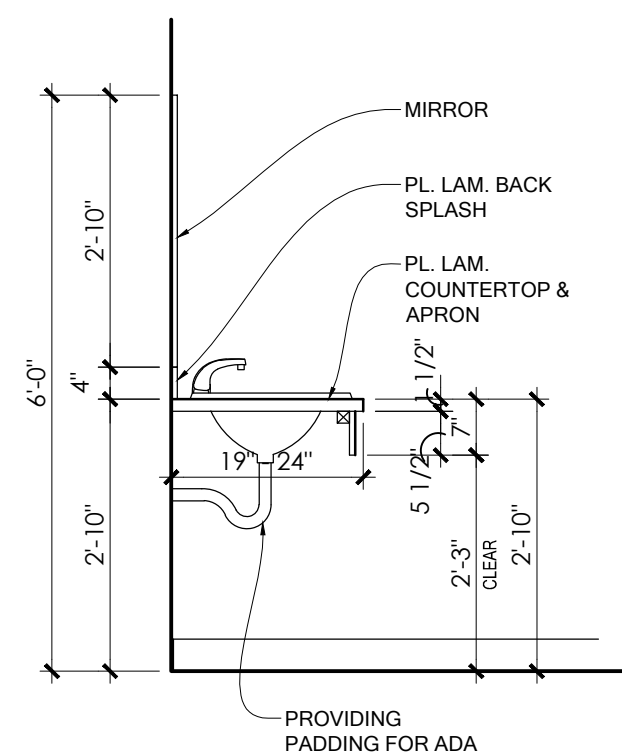
COVER SHEET,  
NOTES, CODE  
INFORMATION &  
DEMOLITION PLAN

A 01

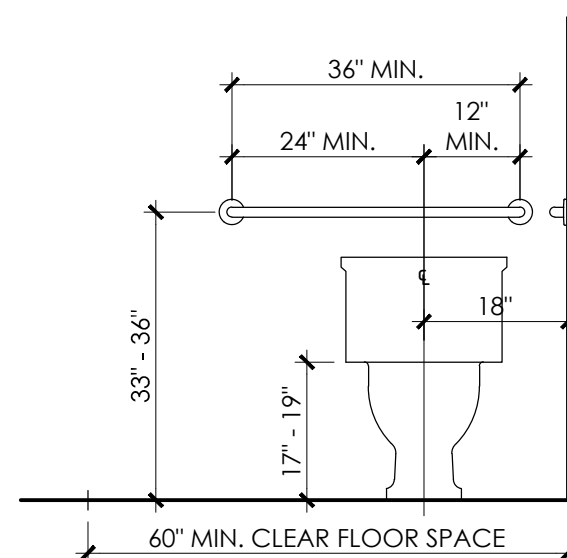
01 DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

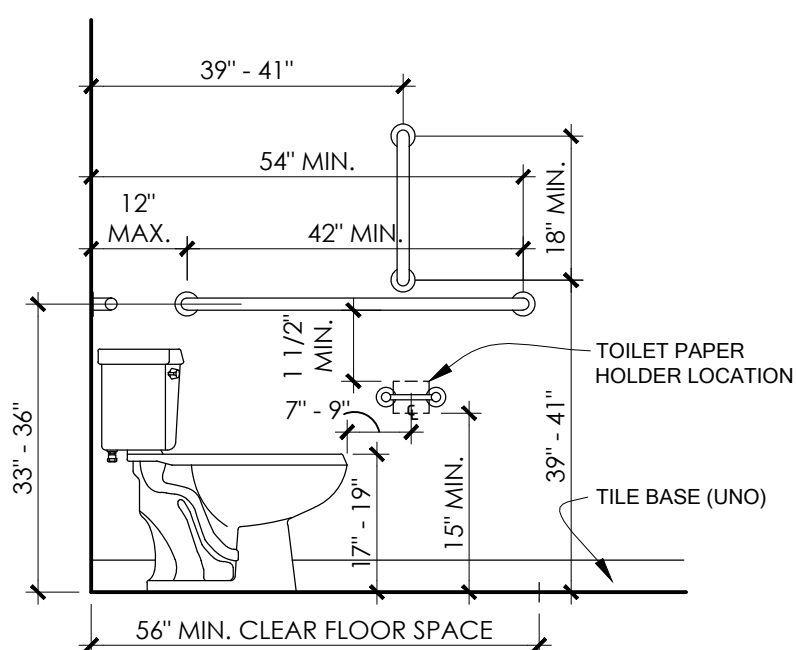
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SIDE ELEVATION:  
TYPICAL ADA VANITY

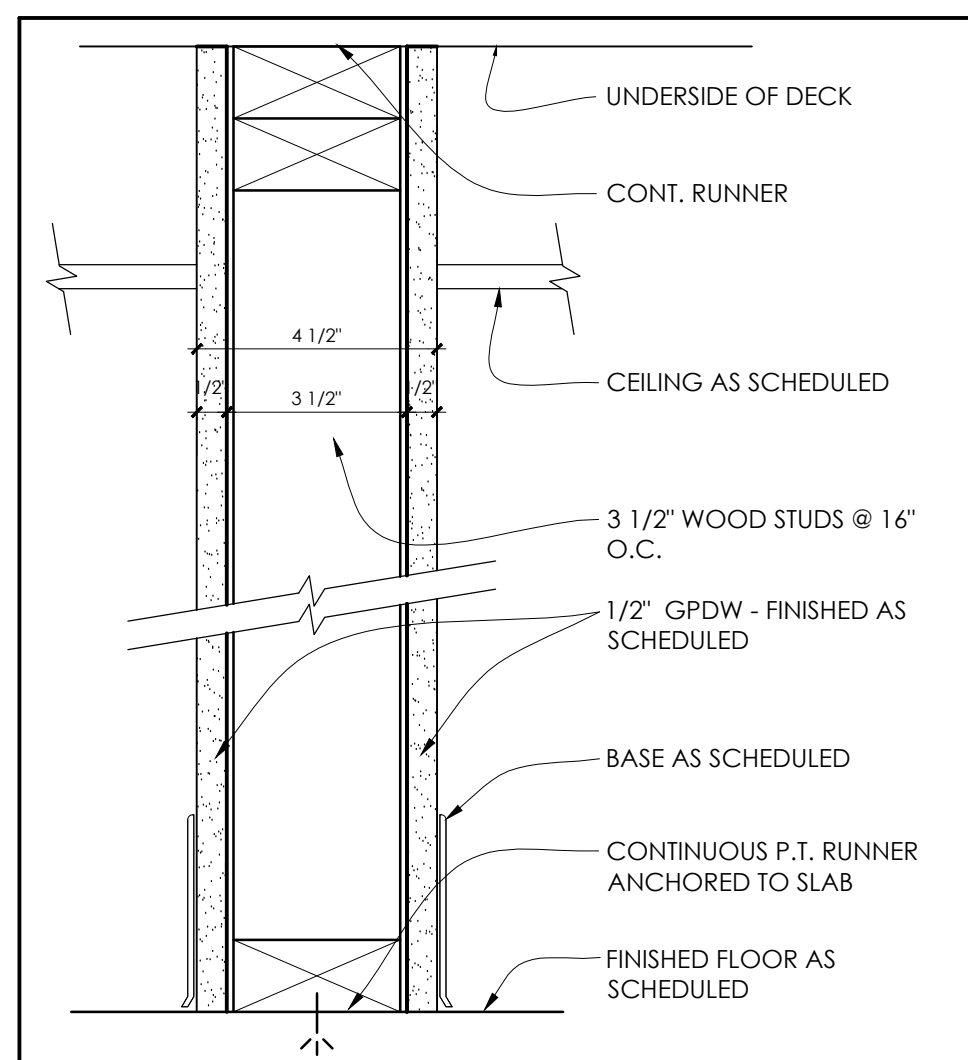


FRONT ELEVATION:  
TYPICAL ADA WATER CLOSET



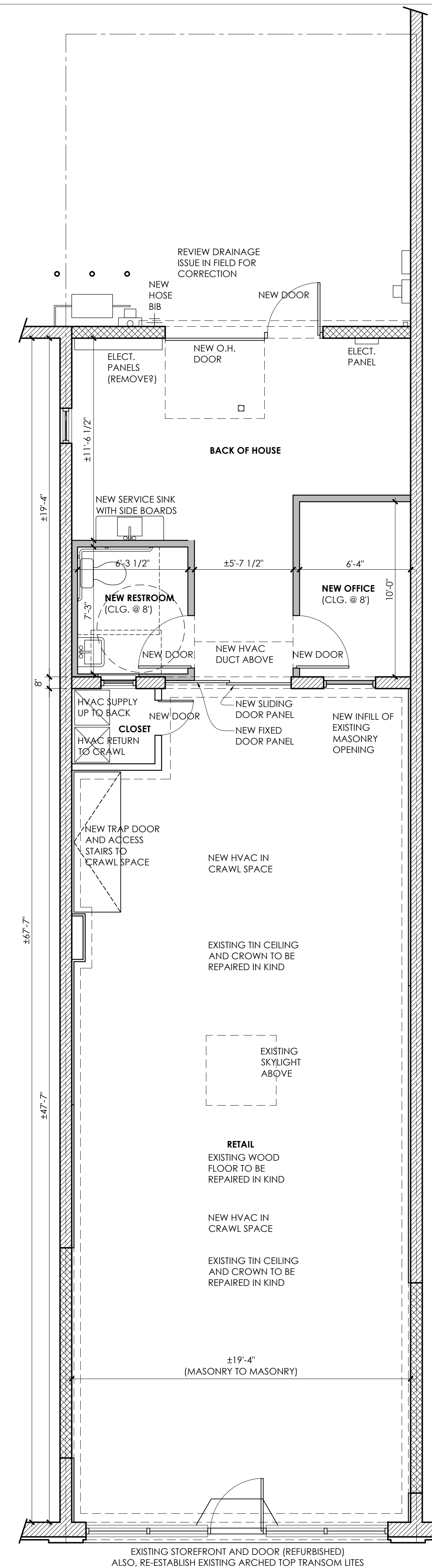
SIDE ELEVATION:  
TYPICAL ADA WATER CLOSET

**03** ADA RESTROOM INFORMATION  
SCALE: 1/2" = 1'-0"



PARTITION TYPE A1 (SHOWN ABOVE)

**02** PARTITION TYPES  
SCALE: 3" = 1'-0"



**01** NEW CONSTRUCTION FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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06 . 06 . 16  
Design Review 02

NEW CONSTRUCTION  
PLAN, ADA  
INFORMATION &  
PARTITION TYPES

**A 02**

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