

March 25, 2016

Nancy Pugh
Allen, Allen, Allen, & Allen
1809 Staples Mill Rd
Richmond, VA 23230

Re: Due Diligence-ALTA at 6109 Brashier Boulevard – 16-016
Mechanicsville, VA

Dear Ms. Pugh:

Provided below are our Due Diligence findings on the property at 6109 Brashier Boulevard. Per Zoning Case C-39-02(c) approved on August 27, 2003 (attached); the subject parcel and adjacent storage unit parcel, were conditionally rezoned from an A-1 Agricultural District to a B-2 Community Business District. A law-firm/general office appears to be a permitted use for the B-2 district and conditions of the rezoning.

EXISTING CONDITIONS

The existing bank branch building consists of approximately 2,400sf of office space with an approximate 30'x 40' drive-thru canopy. Per Hanover County Zoning Ordinance (Ordinance), building setbacks for the B-2 district are as follows: 35 feet for front yards, 10 feet for side yards, and 25 feet for rear yards. The existing building and canopy appear to be within the front, side, and rear yard setbacks.

As part of the rezoning case, vegetated screening is required along the western boundary. Ordinance dictates "All screening shall comprise of evergreen plants, including broadleaf evergreens. Plants shall be at least six feet in height at the time of planting or if using smaller plants (minimum height three feet) they may be installed on a berm so that the combination of the berm and plant equals a height of six feet." As part of the original site plan for the site the existing vegetation was approved and is therefore required to be maintained. Any modifications to the buffer would require a site plan amendment and the approval of the planning director. An exhibit from Hanover County code is attached as a visual representation of the required buffer.

Per the ALTA survey there appears to be 19-10'x18' existing paved parking spaces (including one handicapped space.) There is currently two-way traffic flow up to the northwestern corner of the parking lot and a counterclockwise one-way flow around the rear of the building back to the entrance.

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FINDINGS AND RECOMMENDATIONS

Per the Space Plan by Hummel Associates, office space could be added under the canopy to bring the total square footage to approximately 3,600sf and the attic would be utilized for offices bringing the total usable square footage to approximately 3,900sf. The proposed addition will be clear of the rear yard setback of 25 feet.

Hanover County Code requires 1 parking space per 400sf of usable space. Up to 4,000sf the project would require 10 spaces, therefore, the site is over-parked per code. In order to maximize parking, the existing parking spaces could be repainted to Hanover County standards of 9'x18' which would allow for an extra space in the northern most parking area. An additional 4 spaces can be added on the southwestern portion of the expanded building and 2 spaces could be added to the southeastern side of the building for a total of 26 spaces. The existing traffic flow can remain unchanged.

The schematic layout provided would propose approximately 1,250sf of concrete sidewalk between the proposed parking and building addition.

Per the conditional rezoning "All freestanding signage on the property shall be monument type, and shall be located on the area shown as a 5'x20' sign area. Such sign shall be multiple use for [the subject parcel and the storage facility parcel], and shall be designed and constructed in accordance with the Hanover County Zoning Ordinance."

Currently there is a monument sign in the prescribed sign area dedicated to the storage facility. It does not appear the former bank had any monument signage and Hanover County Zoning Ordinance allows only one free standing sign per street frontage. Therefore, it appears no new signage would be allowable only modification of the existing sign. The maximum sign dimensions for any monument sign on the site would be 8' in height and 50sf in total. A sign permit would be required to replace the existing monument sign.

Building mounted signage would be permissible per Hanover County Zoning Ordinance. Building mounted signage is limited to the building side fronting a street, in this case Mechanicsville Turnpike. The sign cannot project more than 18" from the face of the building and must be less than 200sf in size.

Based on the information above and the ALTA completed on the property (Attached) we have developed a sketch of the potential site layout. Per the sketch, it is likely that the redevelopment of the building and associated parking improvements could create less than 2,500sf of land disturbance. 2,500sf is the threshold whereby improvements could be completed without requiring a site plan amendment. Should the final proposed development exceed 2,500sf of land disturbance a site plan amendment would be required to address erosion control and stormwater management regulations.

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SUMMARY

We believe development of the nature desired is feasible on the site and believe could be executed with a building permit and no site permits would be required. This report is limited to publically available data. Private agreements which may have been made between land owners but not made part of the public record can exist on the property. Please contact us if you have any questions or need more information.

Sincerely,
Austin Brockenbrough & Associates, LLP

Keith D. Stanley, PE
Project Manager
Enclosures

BOARD OF SUPERVISORS

ALFREY M. STANLEY, CHAIRMAN
BEAVERDAM DISTRICT

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MECHANICVILLE DISTRICT



Hanover Courthouse

**HANOVER COUNTY
PLANNING DEPARTMENT**
P. O. Box 470
Hanover, Virginia 23069-0470
WEB SITE: WWW.CO.HANOVER.VA.US

RICHARD R. JOHNSON
COUNTY ADMINISTRATOR

CECIL R. HARRIS, JR.
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JOHN A. BENDER
DEPUTY PLANNING DIRECTOR

PLANNING OFFICE
PHONE: (804) 365-6171
FAX: (804) 365-6232

September 2, 2003

Greg Baka
Resource International
P.O. Box 6160
Ashland, VA 23005

RE: Approval of C-39-02(c), Frank and Ann Volo
(Donald Heslep -- Blue and Gray Self-Storage)

Dear Mr. Baka:

At their meeting of August 27, 2003, the Hanover County Board of Supervisors, on a motion by Mr. Ward, seconded by Mr. Wade, voted to **APPROVE** the above-captioned request for B-2, Community Business zoning on GPINs 8724-49-0864 and 8724-49-3205, with your proffered conditions dated August 13, 2003, as set forth in the attached Ordinance for C-39-02(c). The Board's approval incorporates adoption of the attached Ordinance.

Prior to initiating the new uses on this property, you must obtain site plan or subdivision approval. The Staff will be glad to assist you in this process.

Should you require any additional information or assistance concerning this matter, please do not hesitate to contact John Bender, Deputy Director, or me.

Sincerely,

Michael E. Crescenzo
Director of Planning

GJWB/sm/hte

cc: The Honorable J. T. Ward
Hanover County Planning Commission
Mr. Richard Paul
Mr. Lee Garman
Mr. Donald Heslep

Mr. John Bender
Mr. Richard Bartell
Mrs. Elizabeth Daniels
Mr. and Mrs. Frank Volo

Hanover: People, Tradition, and Spirit

ORDINANCE C-39-02(c)

OWNER OF RECORD: Frank and Anna Volo

CONTRACT PURCHASER: Donald Heslep – Blue and Gray Self-Storage

WHEREAS the Planning Commission of Hanover County has held an advertised public hearing and forwarded this case to the Board of Supervisors with a recommendation of APPROVAL of the adoption of the following amendment to the Zoning Ordinance and Zoning District Map of Hanover County; and

WHEREAS the Board of Supervisors has held public hearings on the 27th day of August, 2003, and advertised in the *Hanover Herald-Progress* once a week for two successive weeks as required by Virginia Code Section 15.2-2204; and

WHEREAS the Board of Supervisors has determined that the public necessity, convenience, general welfare, and good zoning practices require this amendment.

NOW, THEREFORE, BE IT ORDAINED by the Board of Supervisors of Hanover County that the Zoning Ordinance and the Zoning District Map of this County are amended (with conditions) by the rezoning of the property described as GPINs 8724-49-0864 and 8724-49-3205, consisting of 5.906± acres located on the south side of Mechanicsville Turnpike (U. S. Route 360) approximately 200 feet east of Lexington Drive (State Route 1196), (a detailed description is filed with the Board's papers) from A-1, Agricultural District, to B-2(c), Community Business District with conditions, subject to the following conditions which were proffered by the Applicant on August 13, 2003, and accepted by the Board:

PARCEL 1

The following conditions shall apply only to the 1.00 acre parcel as described in the application for rezoning and as designated as Parcel 1 on the conceptual plan attached, titled "Concept Plan," and drawn by Resource International, Ltd., dated June 9, 2003.

1. **Proposed Business.** All site plans for the Property shall be reviewed and approved or disapproved by the Planning Commission prior to site plan approval.
2. **Proposed Elevations.** All elevations for the Property shall be reviewed and approved or disapproved by the Planning Commission prior to site plan approval.

3. **Building Materials.** The building materials shall be of comparable materials used in the Creighton Crossing Shopping Center. The Planning Commission shall review and approve the elevations for the development prior to site plan approval to determine the compatibility of the architectural treatment, signage, and building material with the adjacent Creighton Crossing.
4. **Cash Proffer.** The Owner agrees to pay a cash proffer prior to the issuance of a building permit for any structure constructed on the property. Cash proffers shall be equal to \$339 per PM peak hour trip for retail and other local service-related uses and \$846 per PM peak hours trip for office and other employment-related uses. The PM peak hour trip generation rates for specific uses shall be stated on any site plan submitted for approval and shall be calculated using Trip Generation (the "Manual"), Sixth Edition (or any subsequent edition), published by the Institute of Transportation Engineers. The trips shall be based on gross numbers or inclusive of pass-by trips or internal capture rate if such rates are specified by the Manual. If there is no trip generation for a particular use in the Manual, the applicant's traffic consultant shall provide documentation of trip rates for the specific use, based on generally accepted standards and practices for the conduct of traffic analysis. Trip generation shall utilize rates for building square footage whenever possible. The County shall review and approve the calculations. The Owner shall provide documentation as to the calculation of the proffer amounts, prior to site plan approval.
5. **Screening.** The property shall be screened with vegetation along the western boundary in accordance with Article 7, Section 2A, of the Hanover County Zoning Ordinance.
6. **Noise.** No amplified sound or any kind of exterior communication systems shall be built, installed or utilized on the Property.
7. **HVAC Screening.** All heating, ventilation and air conditioning equipment shall be located so as not to be visible from adjoining properties or from the public right-of-way.
8. **Trash Receptacles.** All trash receptacles shall be screened from view in a manner approved at the time of site plan approval.
9. **B-2 Uses on the Property.** The following uses, which would otherwise be permitted under Article 5, Section 11, of the Hanover County Code, shall not be permitted on the Property in the B-2, Community Business District:
 - A. Dwellings, both detached and attached.
 - B. Public and private forests, wildlife reservations, and similar conservation projects.

- C. Ice distribution stations, automatic or other drive-in automatic vending machine stations.
 - D. Laundromats or self-service dry-cleaning establishments.
 - E. Laundries occupying not more than two thousand five hundred (2,500) square feet of floor area.
 - F. Nurseries for growing plants, trees, shrubs.
 - G. Hospitals and clinics
 - H. Convenience store with no more than five thousand (5,000) square feet of floor area, including drive-in window service for food and including no more than three (3) fuel dispensers.
 - I. Drive-in restaurants.
 - J. Garages, either for parking or storage.
 - K. Hotels, motels, motor lodges or tourist homes.
 - L. Lawnmower, yard and garden equipment, rental, sales and service.
 - M. Material storage yards, in connection with a permitted use where storage is incidental to the approved occupancy of the building, provided all products and materials used or stored in completely enclosed buildings or otherwise screened in accordance with the requirements of Article 7, Section 2A.
 - N. Outside storage of materials and equipment.
10. Access to Property. Access to the Property shall be from the easement on the adjacent parcel for Creighton Crossing Shopping Center as shown on the Concept Plan. There shall be no direct access to and from U.S. Route 360.
11. Dedication of Right-of-Way. The Owner agrees to dedicate sixty (60) feet of right-of-way measured from the centerline of Mechanicsville Turnpike (U.S. Route 360) to the property for future road widening when requested by the County, and shall be free of cost and free of encumbrances interfering with the use for road improvements.
12. Buffer and Easement. The owner shall (1) establish a thirty-five foot (35') thoroughfare buffer across the front of the Property along U.S. Route 360 and (2) dedicate a twenty-foot (20') utility easement to Hanover County free of cost and encumbrances restricting its use for utility purposes. The thoroughfare buffer and the easement shall be measured from the future right-of-way line as set forth in the Hanover County Major Thoroughfare Plan. The utility easement is to be located within the thoroughfare buffer and shall commence at the boundary of the right-of-way. The utility easement may be shifted within the buffer plantings shall be located within the easement area.
13. Left Turn Lane. The left turn lane into the western entrance of Creighton Crossing Shopping Center shall be improved to include 200 feet of taper and 200 feet of storage.

The following condition shall apply only to the 0.02 acre area as described in the application for B-3 rezoning and shown as a 5'x20' sign area designed by signage on the conceptual plan attached, titled "Concept Plan," and drawn by Resource International, Ltd., dated June 9, 2003.

1. Signage. All freestanding signage on the property shall be monument type, and shall be located on the area shown as a 5'x20' sign area. Such sign shall be multiple use for Parcels 1 and 2, and shall be designed and constructed in accordance with the Hanover County Zoning Ordinance.

PARCEL 2

The following conditions shall apply only to the 4,904 acre parcel as described in the application from B-2 rezoning and as designated as Parcel 2 on conceptual plan attached, titled "Conceptual Plan," and drawn by Resource International, Ltd., dated June 9, 2003.

1. Conceptual Plan. The Property shall only be used for a self storage facility and shall be developed in substantial conformity with the conceptual plan attached, titled "Concept Plan," and drawn by Resource International, Ltd., dated June 9, 2003.
2. Cash Proffer. The Owner agrees to pay a cash proffer prior to the issuance of a building permit for any structure constructed on the property. Cash proffers shall be equal to \$339 per PM peak hour trip for retail and other local service-related uses and \$846 per PM peak hours trip for office and other employment-related uses. The PM peak hour trip generation rates for specific uses shall be stated on any site plan submitted for approval and shall be calculated using Trip Generation (the "Manual"), Sixth Edition (or any subsequent edition), published by the Institute of Transportation Engineers. The trips shall be based on gross numbers or inclusive of pass-by trips or internal capture rate if such rates are specified by the Manual. If there is no trip generation for a particular use in the Manual, the applicant's traffic consultant shall provide documentation of trip rates for the specific use, based on generally accepted standards and practices for the conduct of traffic analysis. Trip generation shall utilize rates for building square footage whenever possible. The County shall review and approve the calculations. The Owner shall provide documentation as to the calculation of the proffer amounts, prior to site plan approval.
3. Architectural Treatment/Elevations. The self-storage facility shall be developed in substantial conformance to the attached elevations titled "Conceptual Elevations" and drawn by Andrew Vest dated June 3, 2003. All exterior walls of the self-storage facility shall consist of a reddish-colored split-faced block, the west, north, and east walls of the manager's office and living quarters shall be constructed of brick matching that used for Creighton Crossing Shopping Center. The south wall may be constructed of a reddish-

colored split-faced block material matching the exterior perimeter wall of the storage facility. The Planning Commission shall review and approve the elevations for the development prior to site plan approval to determine the compatibility of the architectural treatment, signage, and building material for each additional building with the adjacent Creighton Crossing.

4. Hours of Operation. Any self-storage facility development on the Property shall be open to lessees of the facility only between the hours of 7:00 a.m. to 7:00 p.m. Monday thru Saturday and 9:00 a.m. to 7:00 p.m. on Sundays.
5. Security. The self-storage facility shall be completely enclosed with a combination of building walls at least nine (9) feet in height, consisting of a split-block screening wall and black iron fence and security gate. The gate will be controlled through a computer-operated device with each tenant having a specific code.
6. Noise. No amplified sound or any kind of exterior communication systems shall be built, installed or utilized on the Property.
7. HVAC Screening. All heating ventilation and air conditioning equipment shall be located so as to not be visible from adjoining properties or from the public right-of-way.
8. Trash Receptacles. All trash receptacles shall be screened from view in a manner approved at the time of site plan approval.
9. Landscaping. Landscaping in accordance with Article 7, Section 8.8-5 of the Hanover County Zoning Ordinance shall be installed in those areas depicted for landscaping on the conceptual plan.
10. Access to the Property. Access to the Property shall be from the easement shown on the adjacent parcel for Creighton Crossing Shopping Center as shown on the Concept Plan.
11. Stormwater Management. Proposed stormwater management facilities on the property shall be designed and constructed to accommodate development of Parcels 1 and 2 to the extent practical.

BE IT FURTHER ORDAINED that this Ordinance is effective on the date of adoption and the Planning Director is hereby directed to designate the boundaries of the foregoing area as rezoned, subject to conditions, on the Zoning District Map of Hanover County.

On motion of Mr. Ward, seconded by Mr. Wade, the members of the Board of Supervisors voted to approve Ordinance C-39-02(c), Frank and Anna Volo (DonaldHeslep – Blue and Gray Self-Storage), as follows:


	Vote:
Aubrey M. Stanley	Aye
Timothy E. Ernst	Aye
Thomas F. Giles, Jr.	Aye
John E. Gordon, Jr.	Aye
Charles D. McGhee	Aye
Elton J. Wade, Sr.	Aye
Jackson T. Ward	Aye

Public Hearings:

Planning Commission August 7, 2003
Board of Supervisors August 27, 2003
Adopted August 27, 2003

The undersigned certifies that this is a correct copy of the Ordinance of the Board of Supervisors.

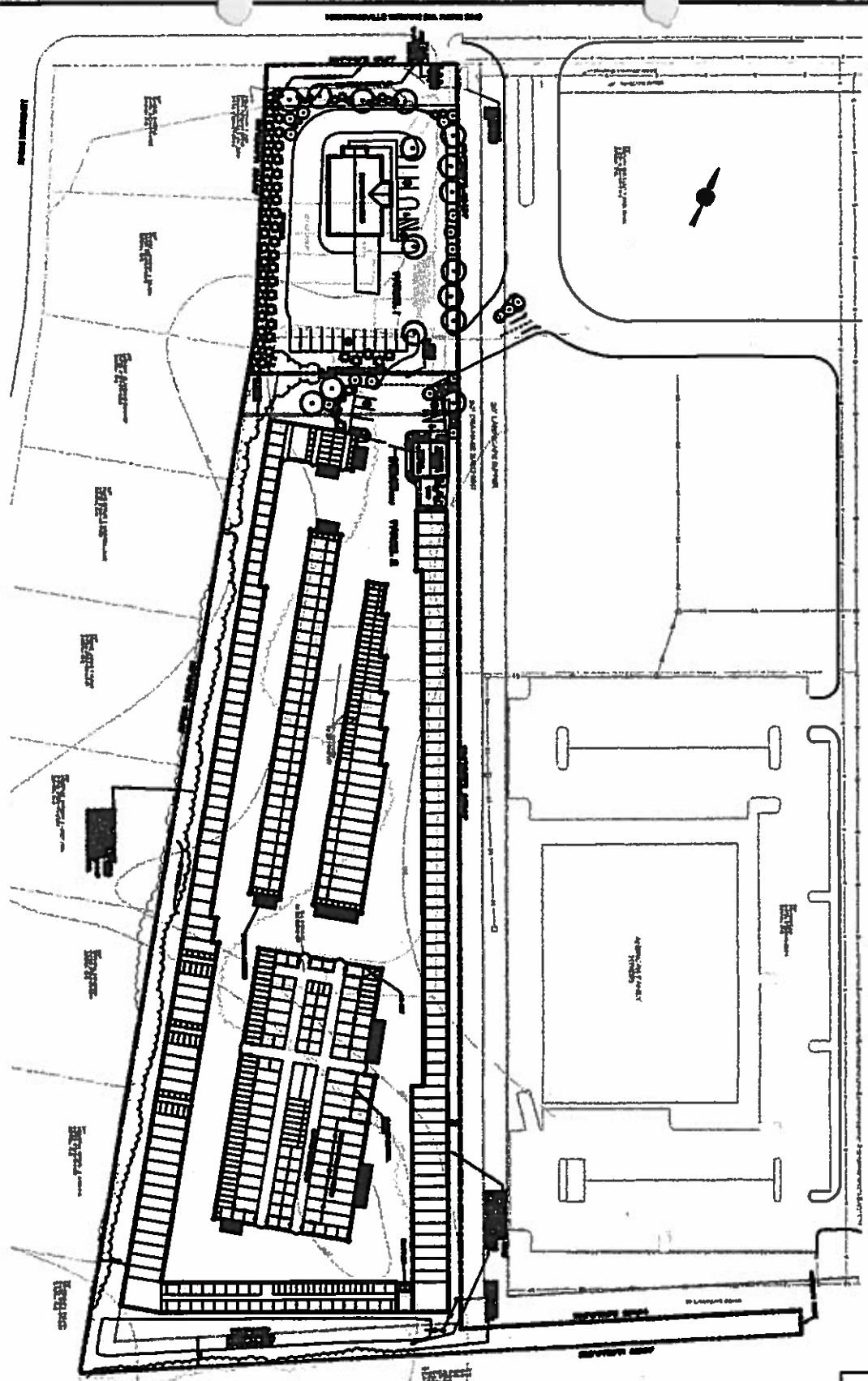
Dated: 9-10-03


Richard R. Johnson, Clerk
Hanover County Board of Supervisors

RECEIVED

AUG 12 2003
HANOVER COUNTY
PLANNING OFFICE

BOARD OF SUPERVISORS
APPROVED PLAN
DATE 8-27-03



VARIETY MAP

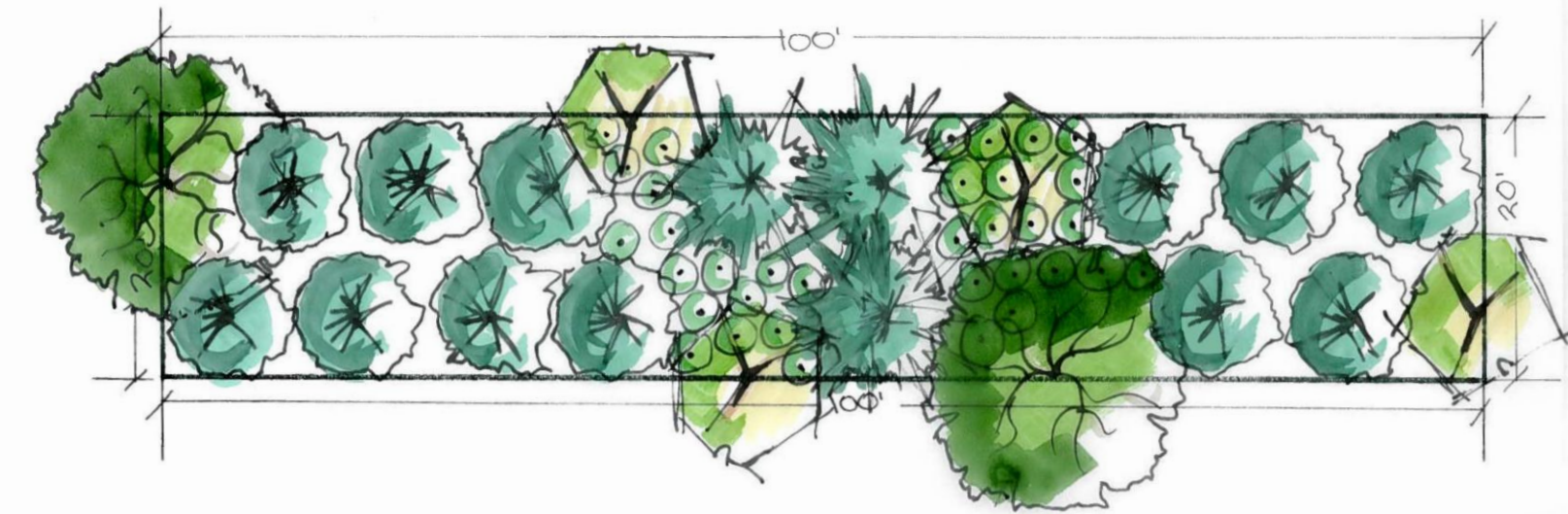
GENERAL SITE INFORMATION
DATE: 8/27/03
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]
SCALE: 1/8" = 1'-0"

CONCEPT PLAN
DATE: 8/27/03
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

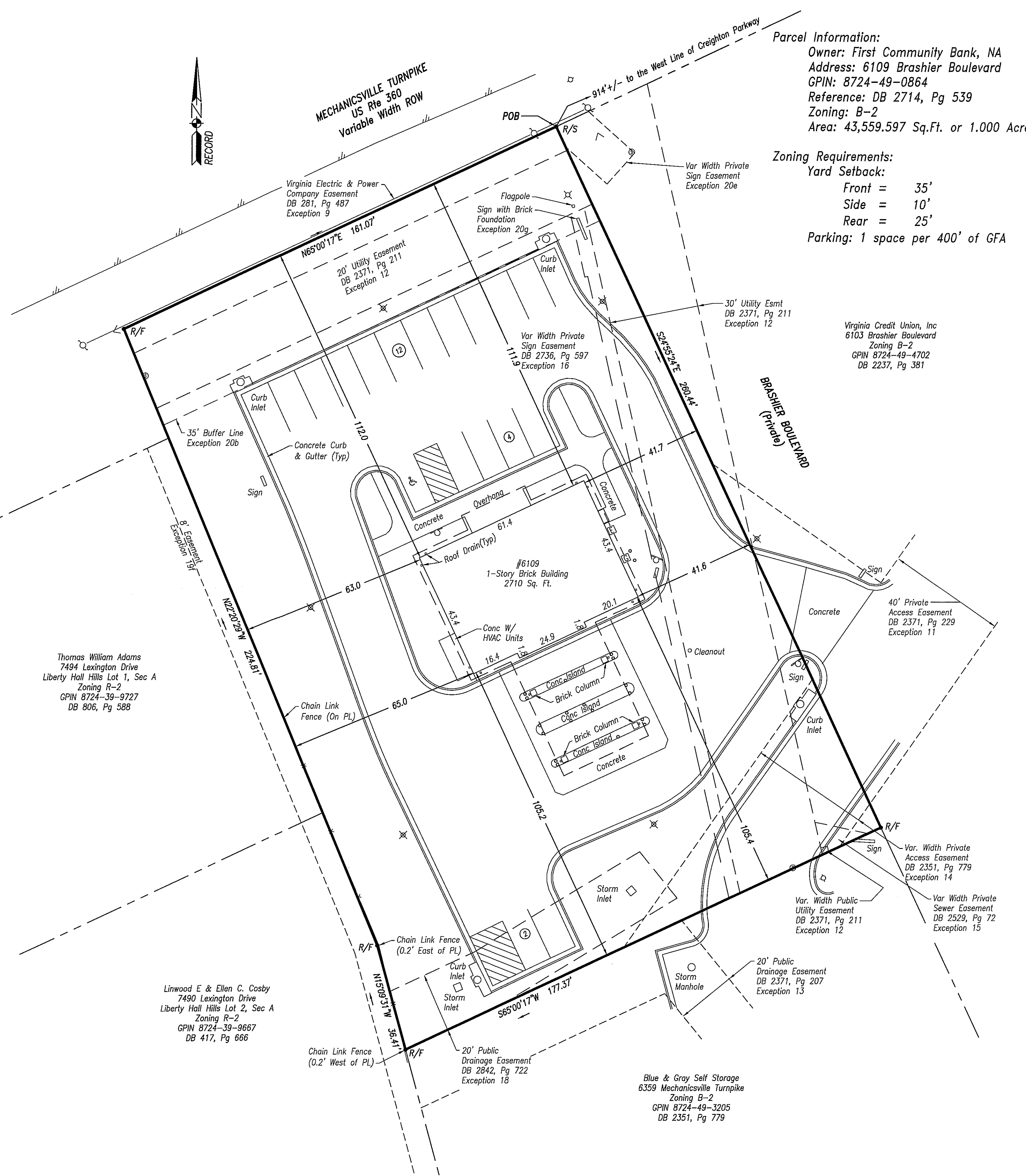
20' Commercial Buffer at 100 Linear Feet

Planting Requirements per 100 linear feet:

<u>Plant Type</u>	<u>Quantity</u>	<u>Total</u>
Small Deciduous Tree	4	Trees Required: 21
Large Deciduous Tree	2	Shrubs Required: 34
Evergreen Tree	15	
Evergreen Shrub	34	



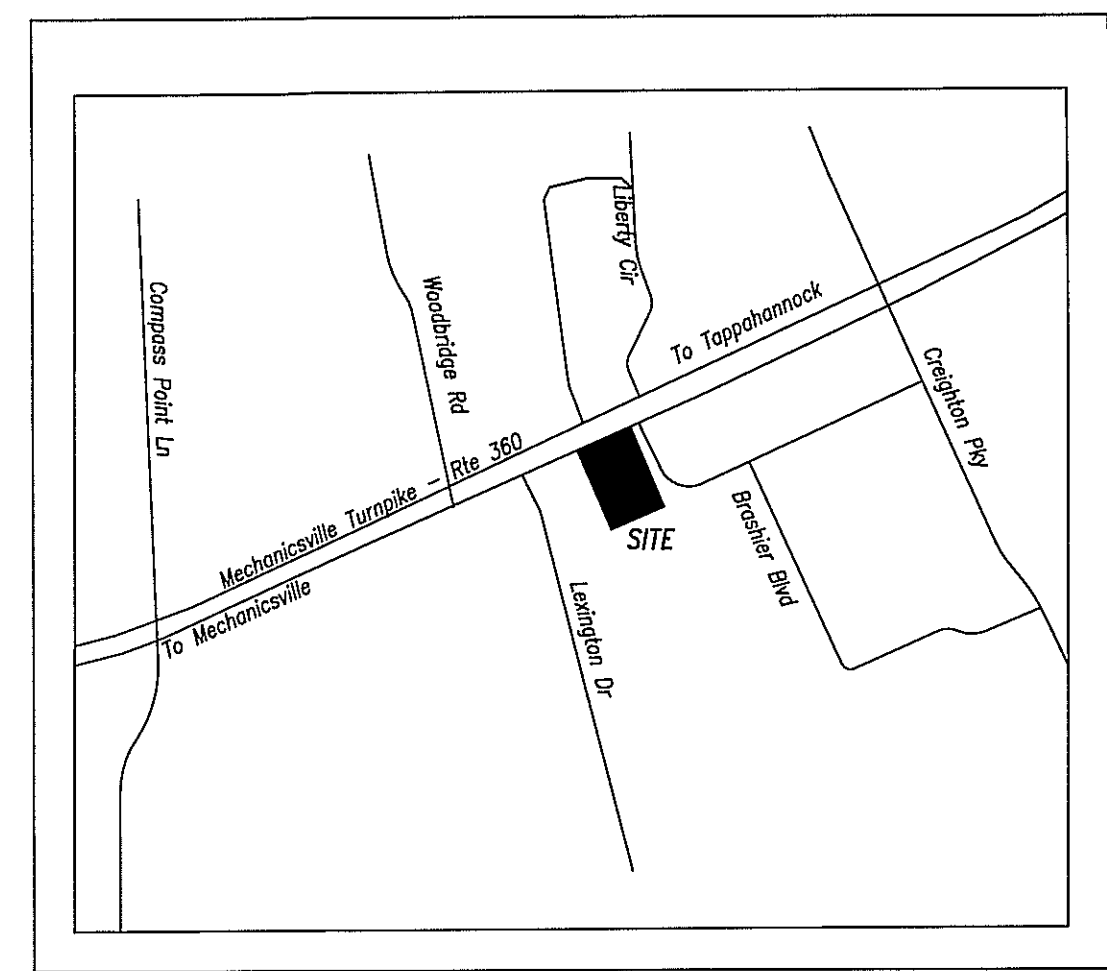
- Exceptions Listed in Title Commitment
- Easement granted Virginia Electric and Power Company dated 08/03/1960, recorded in Deed Book 187A, Page 425. -No Longer Exist-
 - Easement granted Virginia Electric and Power Company dated 09/10/1968, recorded in Deed Book 281, Page 487. -See Plat-
 - Easement granted Virginia Electric and Power Company dated 07/11/1930, recorded in Deed Book 91, Page 491. -Not Plottable-
 - Terms, provisions, conditions, covenants, restrictions, reservations, easements, maintenance obligations and rights of others, if any, as established in 40' private access easement agreement recorded in DB 2371, P 229. -See Plat-
 - Terms, provisions, conditions, covenants, restrictions, reservations, easements, maintenance obligations and rights of others, if any, as established in utility easement agreement recorded in DB 2371, P 211. -See Plat-
 - Terms, provisions, conditions, covenants, restrictions, reservations, easements, maintenance obligations and rights of others, if any, as established in drainage easement agreement recorded in DB 2371, P 207. -See Plat-
 - Terms, provisions, conditions, covenants, restrictions, reservations, easements, maintenance obligations and rights of others, if any, as established in private access easement agreement recorded in DB 2351, P 779. -See Plat-
 - Terms, provisions, conditions, covenants, restrictions, reservations, easements, maintenance obligations and rights of others, if any, as established in private sewer easement agreement recorded in DB 2529, P 72. -See Plat-
 - Terms, provisions, conditions, covenants, restrictions, reservations, easements, maintenance obligations and rights of others, if any, as established in sign easement agreement recorded in DB 2736, P 597. -See Plat-
 - Terms, provisions, conditions, covenants, restrictions, reservations, easements, maintenance obligations and rights of others, if any, as established in maintenance agreement recorded in DB 2842, P 714. -Not Plottable-
 - Terms, provisions, conditions, covenants, restrictions, reservations, easements, maintenance obligations and rights of others, if any, as established in drainage easement agreement recorded in DB 2842, P 722. -See Plat-
 - Recorded Subdivision Plat in Plat Book 36, Page 822 shows:
 - Variable width private access easement reserved -Shown-
 - VEPCO pole easement -N/A-
 - Sign easement -Shown-
 - Future access drive easement -Shown-
 - Split rail fence extends over lot line -N/A-
 - 8' easement abutting -Shown-
 - Overhead utilities -N/A-
 - Limits of proposed curb line -Shown-
 - Recorded Subdivision Plat in Plat Book 36, Page 822 shows:
 - Existing 20' utility easement -Shown-
 - Existing 35' buffer -Shown-
 - Variable width private sewer easement -N/A-
 - Existing 30' utility easement -Shown-
 - Existing variable width sign easement abutting -Shown-
 - Existing variable width permanent private access easement -Shown-
 - Sign with brick foundation -Shown-



Parcel Information:
 Owner: First Community Bank, NA
 Address: 6109 Brashier Boulevard
 GPIN: 8724-49-0864
 Reference: DB 2714, Pg 539
 Zoning: B-2
 Area: 43,559.597 Sq.Ft. or 1.000 Acre

Zoning Requirements:
Yard Setback:
 Front = 35'
 Side = 10'
 Rear = 25'

Parking: 1 space per 400' of GFA



- NOTES:
- THE DETERMINATION OF THE PRESENCE OF WETLANDS, IF ANY, WAS NOT A PART OF THIS SURVEY.
 - THE LOCATION OF UNDERGROUND TANKS WAS NOT A PART OF THIS SURVEY.
 - AUSTIN BROCKENBROUGH & ASSOCIATES, ITS PARTNERS OR EMPLOYEES, WILL NOT BE RESPONSIBLE FOR THE PRESENCE OR REMOVAL OF ANY TOXIC WASTES OR MATERIALS ON THE SURFACE, IN ANY STRUCTURE, OR BURIED BENEATH THE SURFACE.
 - THIS SURVEY HAS BEEN PREPARED WITH THE BENEFIT OF TITLE COMMITMENT #B16-0319F PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED FEBRUARY 10, 2016.
 - THERE WAS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
 - THIS PROPERTY LIES IN AN AREA DESIGNATED AS ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA COMMUNITY PANEL NUMBER 51085C0430B DATED DECEMBER 2, 2008.
 - UTILITY APPURTANCES AS SHOWN IS BASED ON ABOVE GROUND EVIDENCE ONLY. A SUBSURFACE UTILITY INVESTIGATION WAS NOT PERFORMED AS A PART OF THIS SURVEY.
 - 19 PARKING SPACES - 18 REGULAR + 1 HANDICAP

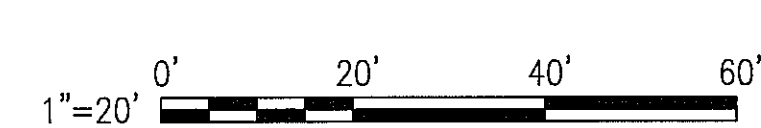
Parcel Description

All that certain lot or parcel of land with improvements thereon and appurtenances thereto belonging, lying and being in the Mechanicsville Magisterial District, Hanover County, Virginia, and further described as follows:

Commencing at a point S65°00'17"W, 914'+/- from the intersection of the western line of Creighton Parkway and the southern line of Mechanicsville Turnpike being the Point of Beginning; thence leaving the southern line of Mechanicsville Turnpike along a line in common with Virginia Credit Union, Inc., S24°55'24"E, 260.44' to a Rod Found; thence along a line in common with Blue & Gray Self Storage, S65°00'17"W, 177.37' to a rod found, thence along a line in common with Linwood & Ellen Cosby, N15°09'31"W, 36.41' to a rod found, thence along a line in common with Cosby and Thomas Adams, N22°20'29"W, 224.81' to a rod found on the southern line of Mechanicsville Turnpike, thence along the southern right-of-way of Mechanicsville Turnpike N65°00'17"E, 161.07' to the Point of Beginning. Containing 1.0 acre.

To: First American Title Insurance Company and Wells Fargo Bank, This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6a, 7a, 8, 9, 11, 13, 14, and 16 of Table A thereof. The field work was completed on March 14, 2016. Date of Plat: March 25, 2016.

Thomas A. Condrey
 Thomas Allen Condrey Registration No: 2750



LEGEND

R/F	Rod Found
R/S	Rod Set
⊙	Bollard
∨	Cuy
⊗	Light Pole
⊕	Sign
⊕	Handicap Parking Space
⊕	# Parking Spaces
⊕	Power Pole
⊕	Water Meter
⊕	Water Valve
⊕	Fire Hydrant
⊕	Electric Meter
⊕	Gas Meter
⊕	Sanitary Sewer Manhole

FILE NAME: G:\16 Jobs\16-016-016.dwg LAYOUT NAME: Layout2 PLOTTED: Friday, March 25, 2016 - 8:44am USER: leandrey

CLIENT	AAAA	JOB NO.	16-016	DATE	3/25/16	SCALE	1"=20'
DESIGN	TAC	APPROVED	TAC	O.C. REVIEW	KDS	DATE	
DRAWN		REVISIONS		NO.		DATE	

Austin Brockenbrough
 ENGINEERING + CONSULTING

1011 Boulder Springs Drive, Suite 200 | Richmond, Virginia 23225
 804.592.3900 main | 804.592.3901 fax
www.brockenbrough.com

ALTA/NSPS LAND TITLE SURVEY

6109 BRASHIER BOULEVARD

MECHANICSVILLE DISTRICT, HANOVER VIRGINIA

SHEET 1 OF 1

FILE NAME: G:\16 Jobs\16-016 Dir Diligence-ATA - Allen & Allen\CAD AutoCAD Model\16-016-C-SP-EXIB2.dwg LAYOUT NAME: EXIBIT2 PLOTTED: Friday, March 25, 2016 - 10:22am USER: ketanley

D

C

B

A

VA SOUTH INAD 83(2011)



<p>Schematic Layout</p> <p>6109 BRASHIER BOULEVARD</p> <p>MECHANICSVILLE DISTRICT, HANOVER VIRGINIA</p>		<p>Austin Brockenbrough</p> <p>ENGINEERING + CONSULTING</p> <p>1011 Boulder Springs Drive, Suite 200 Richmond, Virginia 23225</p> <p>804.592.3900 main 804.592.3901 fax</p> <p>www.brockenbrough.com</p>		<p>CLIENT: AAAA</p> <p>TAC: 16-016</p> <p>DESIGN: 3/25/16</p> <p>APPROVED: TAC</p> <p>DATE: 3/25/16</p> <p>Q.C. REVIEW: KDS</p> <p>SCALE: 1"=20'</p>	
No.	REASONS	DATE			

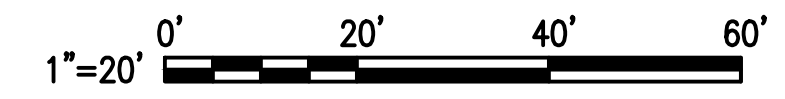
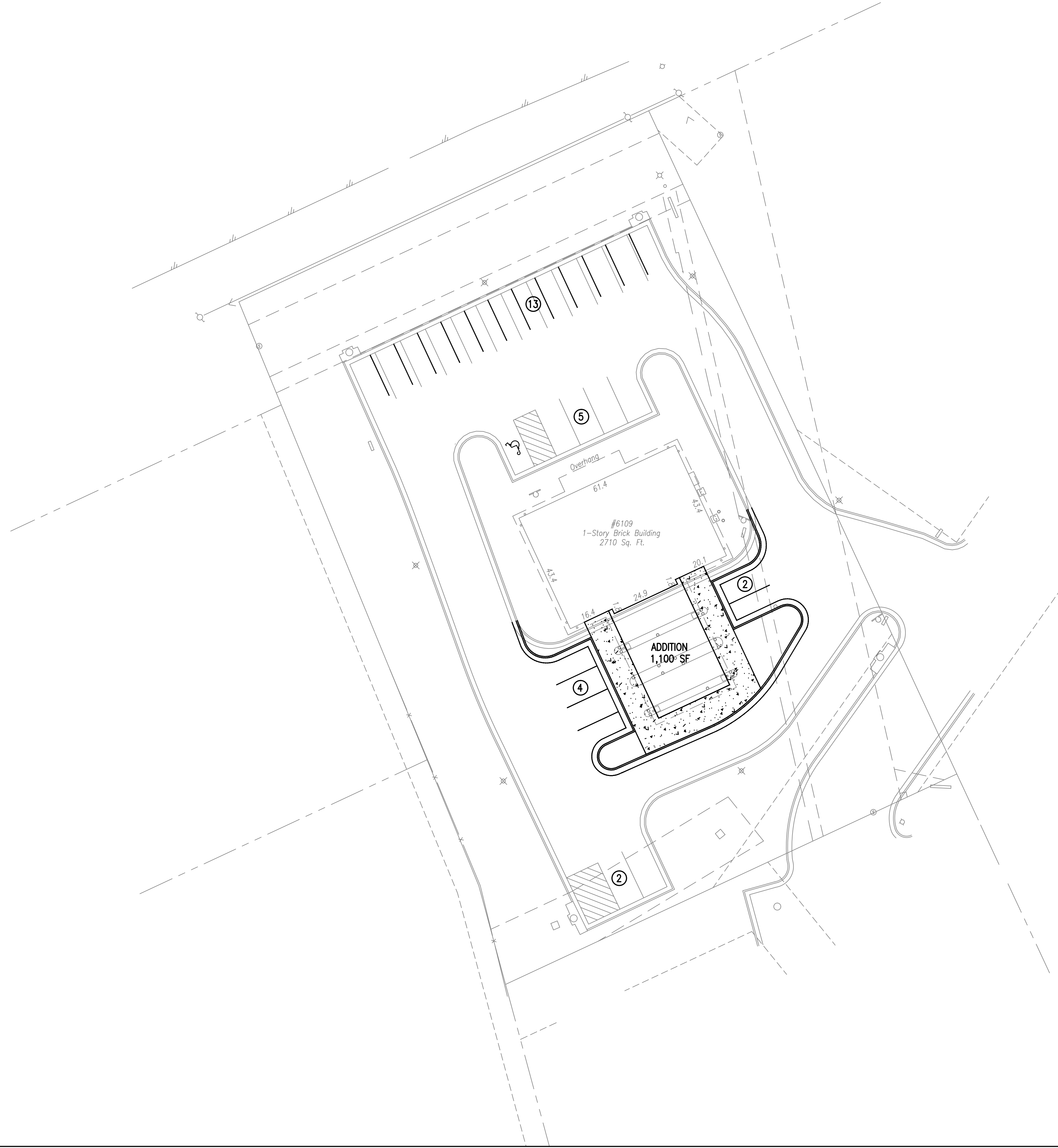
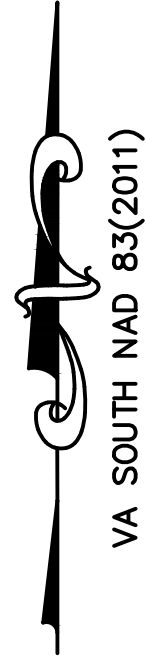
FILE NAME: G:\16 Jobs\16-016-Due Diligence-ATA - Allen & Allen\CAD AutoCAD Model\16-016-C-SP-EXB1.dwg LAYOUT NAME: EXB111 PLOTTED: Friday, March 25, 2016 - 10:23am USER: kstanley

D

C

B

A



SHEET 2 OF 1

EX-2

SCHEMATIC LAYOUT

6109 BRASHIER BOULEVARD

MECHANICSVILLE DISTRICT, HANOVER

VIRGINIA

Austin
Brockenbrough

ENGINEERING + CONSULTING

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No.

REVISIONS

DATE

DRAWN	TAC	CLIENT
DESIGN		AAAA
APPROVED		JOB NO. 16-016
O.C. REVIEW		DATE 3/25/16
		SCALE 1"=20'