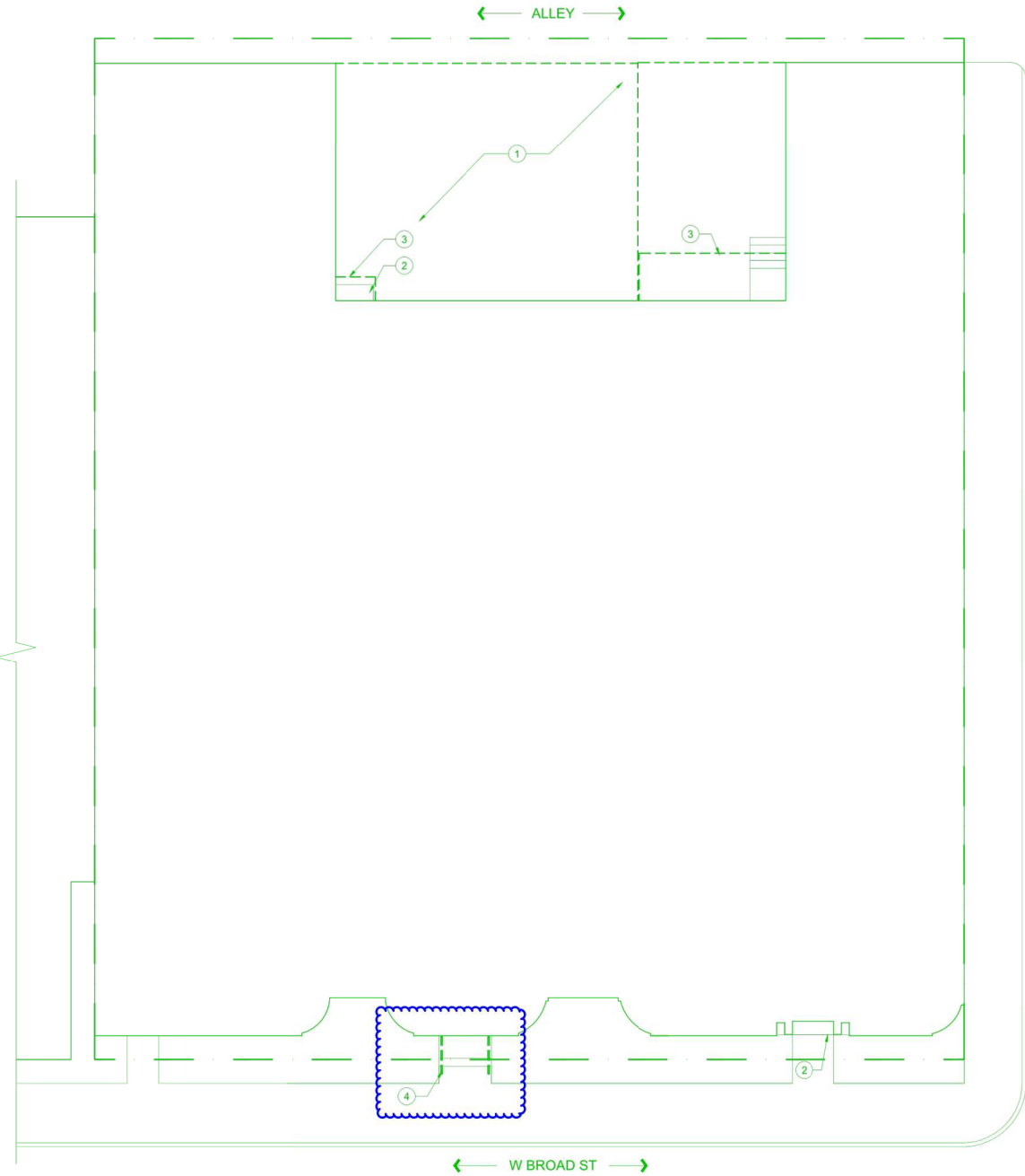


**ARCHITECTURAL SITE DEMOLITION PLAN KEYNOTES**

- ① DEMOLISH ASPHALT & CONCRETE PAVING AS REQUIRED FOR NEW PARKING
- ② REMOVE STEP / RAMP AS REQUIRED. PREPARE CONCRETE FOR EXTENDED LANDING / NEW RAMP
- ③ REMOVE CORRUGATED CANOPY ROOF. SUPPORTS TO REMAIN
- ④ REMOVE HANDRAIL, TO BE REPLACED WITH SIMILAR IN SAME LOCATION

**ARCHITECTURAL SITE DEMOLITION PLAN GENERAL NOTES**

- 1. PROTECT ALL EXISTING SITE ELEMENTS TO REMAIN THROUGHOUT DEMOLITION ACTIVITIES.
- 2. ARCHITECTURAL SITE PLAN IS FOR DESIGN INTENT ONLY - FINAL GRADING, TIE-IN, ETC TO BE COORDINATED BY OTHERS.
- 3. SEE NEW WORK PLANS FOR ADDITIONAL INFORMATION.



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**ARCHITECTURAL  
SITE  
DEMOLITION  
PLAN**

**A1.0**

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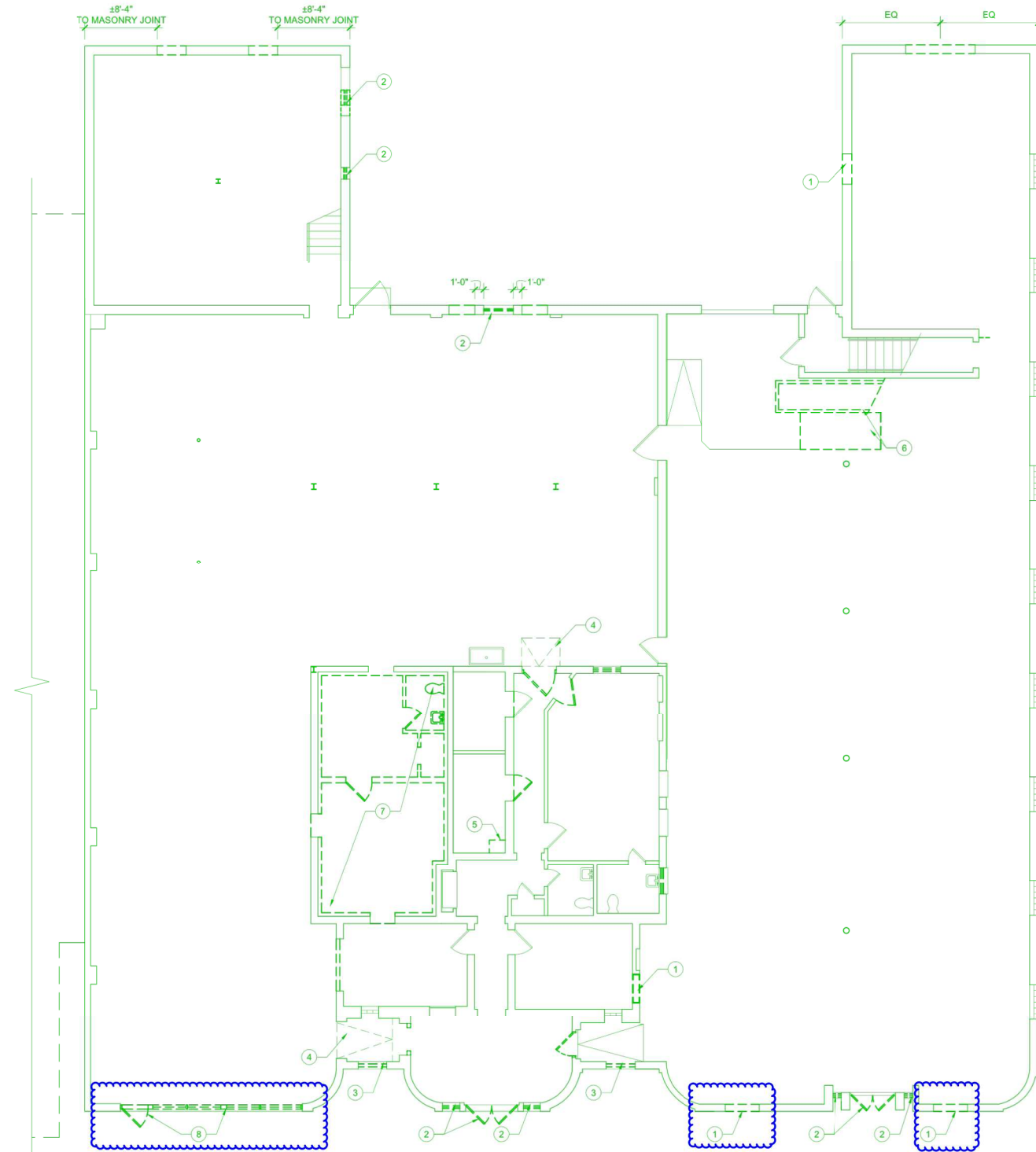
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**FIRST FLOOR DEMOLITION PLAN KEYNOTES**

- 1 REMOVE INFILL TO EXPOSE EXISTING DOOR / WINDOW OPENING. TOOTH-IN NEW BRICK TO MATCH EXISTING AS REQUIRED AT EXTERIOR LOCATIONS
- 2 REMOVE WINDOW / DOOR AND FRAME. PREPARE OPENING FOR REPLACEMENT
- 3 REMOVE GLASS BLOCK AND FIXED WINDOW ABOVE. PREPARE OPENING FOR NEW GLASS BLOCK
- 4 GRIND DOWN OR REMOVE CONCRETE RAMP AS REQUIRED FOR NEW
- 5 REMOVE CHIMNEY IN ITS ENTIRETY
- 6 REMOVE CONVEYOR EQUIPMENT AND PORTION OF WOOD PLATFORM AS SHOWN DASHED. SALVAGE WOOD DECKING
- 7 REMOVE CORK (1/4" THICK) FROM WALLS, FLOOR & CEILING
- 8 REMOVE DAMAGED STOREFRONT SYSTEM AND PREPARE OPENING FOR NEW, TO INCLUDE REMOVAL OF EXISTING CURB. GRIND SLAB / BRICK EDGE FOR SMOOTH TRANSITION AT FLOOR LEVEL BELOW NEW STOREFRONT WINDOW AND DOOR

**FIRST FLOOR DEMOLITION PLAN GENERAL NOTES**

1. PROTECT ALL EXISTING FINISHES TO REMAIN THROUGHOUT CONSTRUCTION ACTIVITIES.
2. REFER TO WINDOW SCHEDULE FOR FINISH OPENING SIZES.
3. REMOVE DROPPED CEILINGS THROUGHOUT (EXCEPT AT RESTROOMS TO REMAIN). REPLACE TO EXTENT SHOWN AS NEW ON ARCHITECTURAL REFLECTED CEILING PLAN.
4. SALVAGE ALL REMOVED DOORS AND HARDWARE AND RETURN TO OWNER.



FIRST FLOOR DEMOLITION PLAN - CURRENT 1

1/8" = 1'-0"

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**FIRST FLOOR  
DEMOLITION  
PLAN - CURRENT**

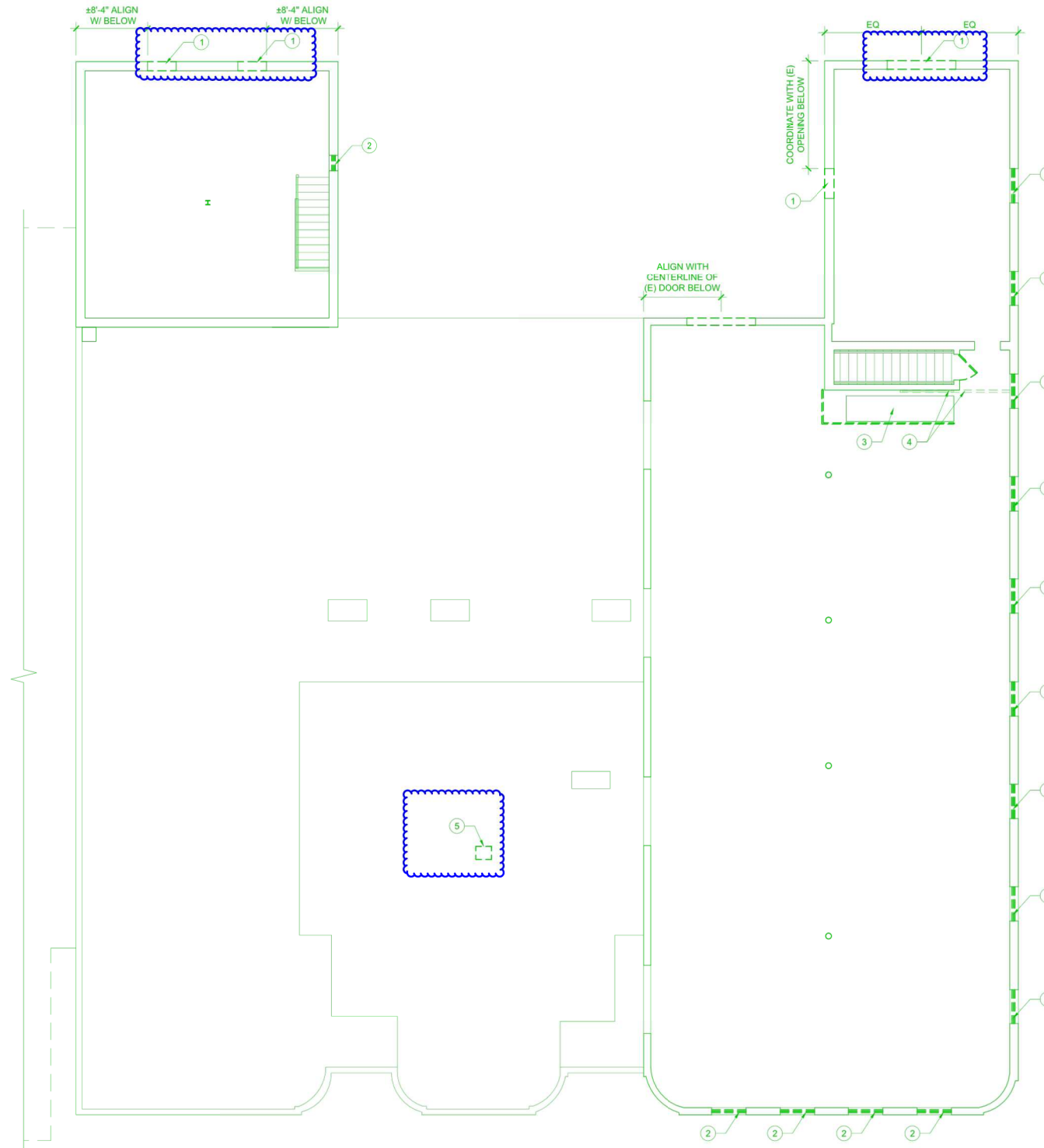
**A1.1**

**SECOND FLOOR DEMOLITION PLAN KEYNOTES**

- 1 NEW MASONRY OPENING FOR NEW STOREFRONT WINDOW
- 2 REMOVE WINDOW AND PREPARE OPENING FOR REPLACEMENT. SALVAGE AND RETURN TO OWNER
- 3 EXISTING PLATFORM AT CONVEYOR OPENING TO REMAIN. REMOVE PORTION AT NEW CORRIDOR END TO ACCOMMODATE NEW WALL
- 4 REMOVE TRACK AND DOOR. SALVAGE FOR REINSTALLATION
- 5 REMOVE CHIMNEY IN ITS ENTIRETY (NOT VISIBLE FROM STREET LEVEL)

**SECOND FLOOR DEMOLITION PLAN GENERAL NOTES**

- 1. PROTECT ALL EXISTING FINISHES TO REMAIN THROUGHOUT CONSTRUCTION ACTIVITIES.
- 2. REFERENCE WINDOW SCHEDULE FOR ROUGH OPENING SIZES.
- 3. REMOVE DROPPED CEILING AT NW CORNER. REPLACE TO EXTENT SHOWN AS NEW ON ARCHITECTURAL REFLECTED CEILING PLAN.
- 4. SALVAGE ALL REMOVED DOORS, WINDOWS AND HARDWARE AND RETURN TO OWNER.



SECOND FLOOR DEMOLITION PLAN - CURRENT  
1  
1/8" = 1'-0"



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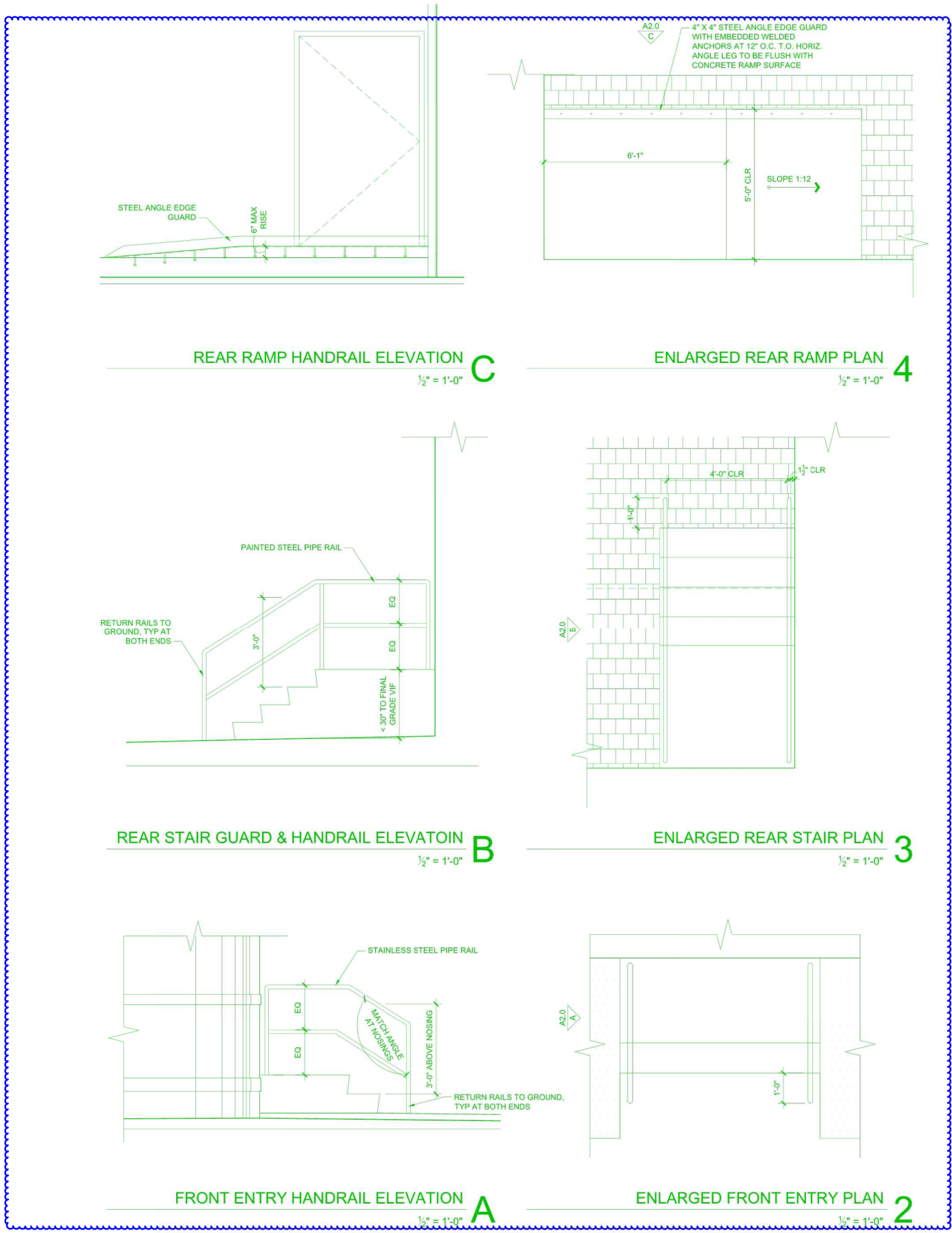
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**SECOND FLOOR  
DEMOLITION  
PLAN - CURRENT**

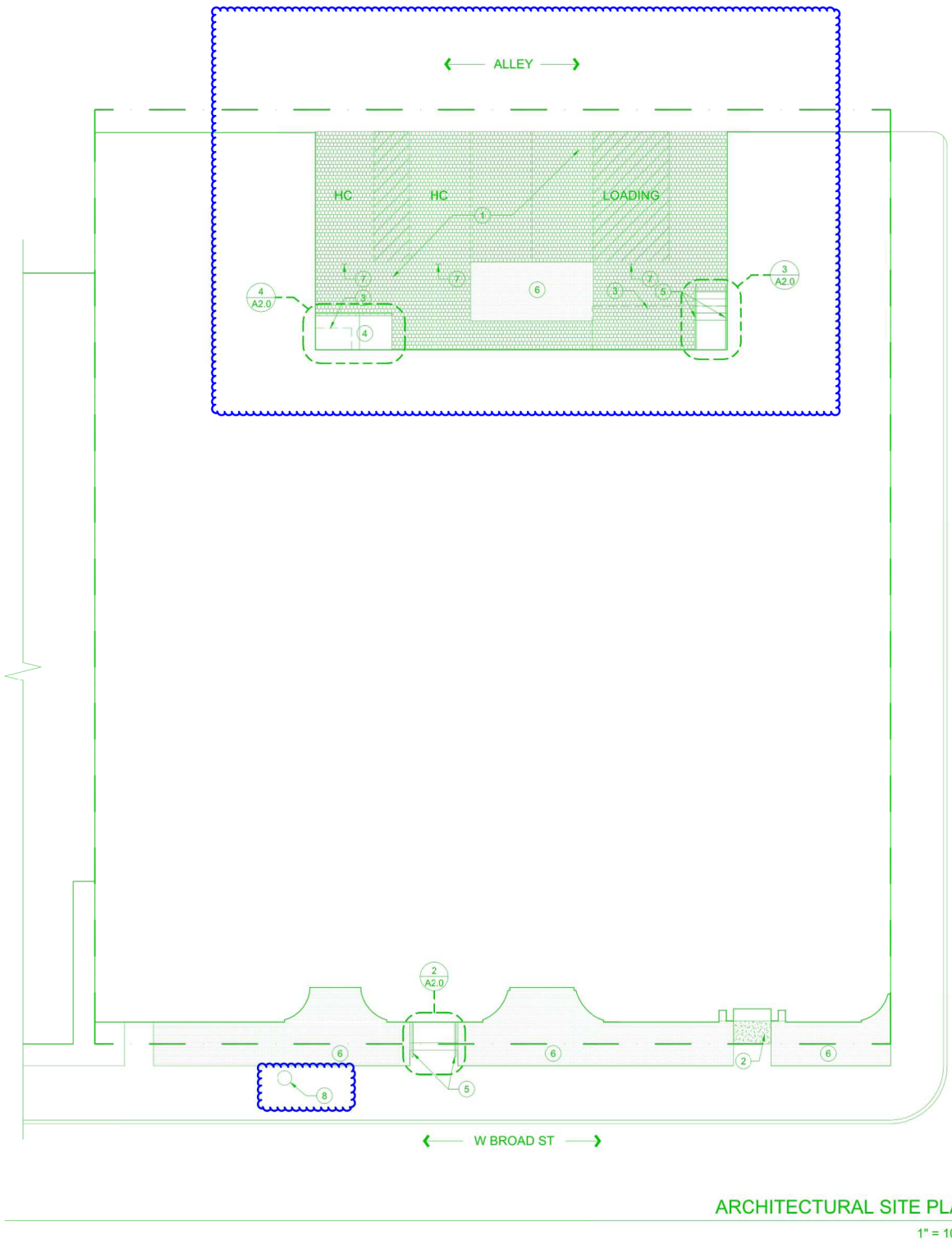
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- ARCHITECTURAL SITE PLAN KEYNOTES**
- 1 CONCRETE PAVERS WITH STRIPING FOR PARKING AND LOADING SPACES AS INDICATED. SPACES NOTED 'HC' TO MEET ACCESSIBLE STANDARDS FOR DIMENSIONS AND CROSS SLOPE
  - 2 EXTEND CONCRETE LANDING FULL WIDTH OF EXISTING STEP. ALIGN WITH TOP OF STEP
  - 3 GALVANIZED CORRUGATED CANOPY ROOF ON EXISTING STEEL SUPPORTS. STEEL SUPPORTS TO BE REPAINTED
  - 4 ACCESSIBLE CONCRETE RAMP AND LANDING. LANDING TO ALIGN WITH FLOOR LEVEL AT DOOR TRANSITION. RISE TO BE LESS THAN 6". COORDINATE WITH FINAL GRADE
  - 5 STEEL PIPE HANDRAILS AT EXISTING CONCRETE STAIR. SEE ELEVATIONS
  - 6 PLANTING BED. TOPSOIL AND LANDSCAPING BY OWNER
  - 7 SIGN INDICATING ACCESSIBLE PARKING OR LOADING AS APPLICABLE
  - 8 MONITORING MANHOLE. REFER TO PLUMBING DRAWINGS

- ARCHITECTURAL SITE PLAN GENERAL NOTES**
1. PROTECT ALL EXISTING SITE ELEMENTS TO REMAIN THROUGHOUT CONSTRUCTION ACTIVITIES.
  2. ARCHITECTURAL SITE PLAN IS FOR DESIGN INTENT ONLY - FINAL GRADING, TIE-IN, ETC TO BE COORDINATED BY OTHERS.



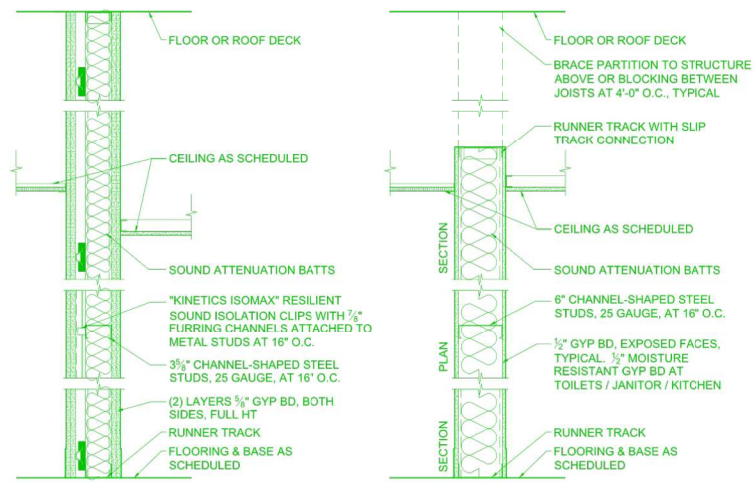
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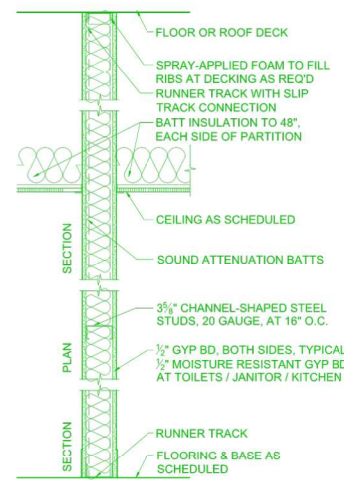
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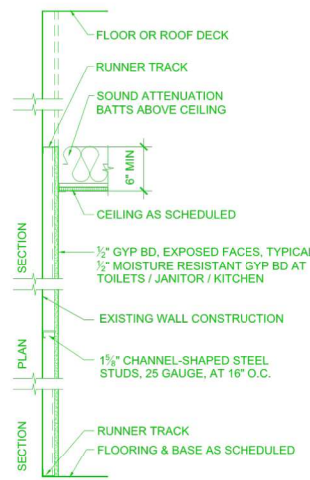
ARCHITECTURAL  
SITE PLAN  
**A2.0**



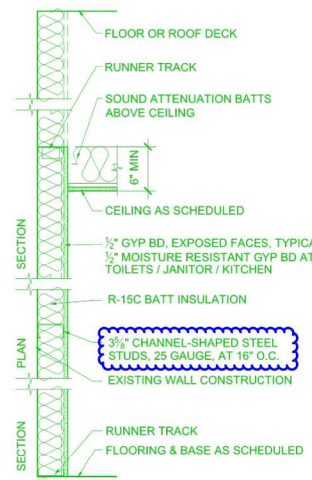
**6" PARTITION TO 6" ABOVE CLG**



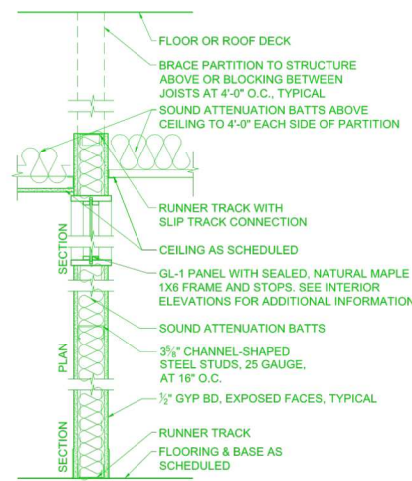
**FULL-HEIGHT PARTITION**



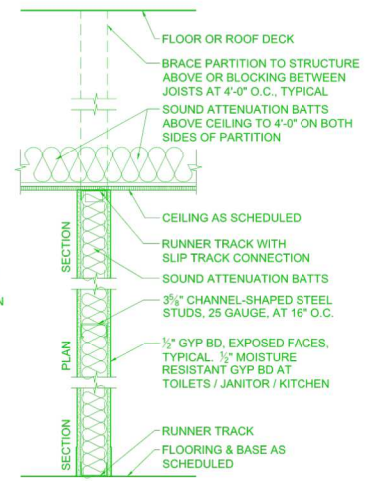
**1 5/8" FURRING, FULL HT CONSTRUCTION**



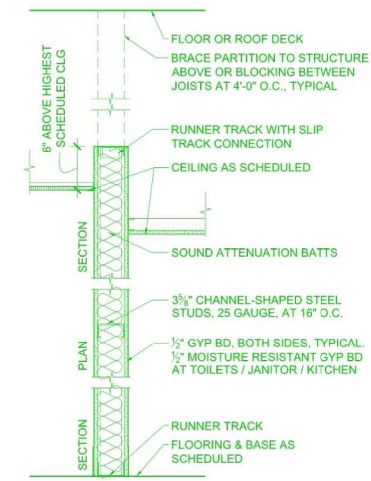
**3 5/8" FURRING, FULL HT CONSTRUCTION**



**PARTITION W/ TRANSOM**



**PARTITION TO UNDERSIDE OF CEILING**



**TYPICAL NEW PARTITION**

\* SEE REFLECTED CEILING PLAN FOR CEILING HEIGHTS \*

**PARTITION TYPES**

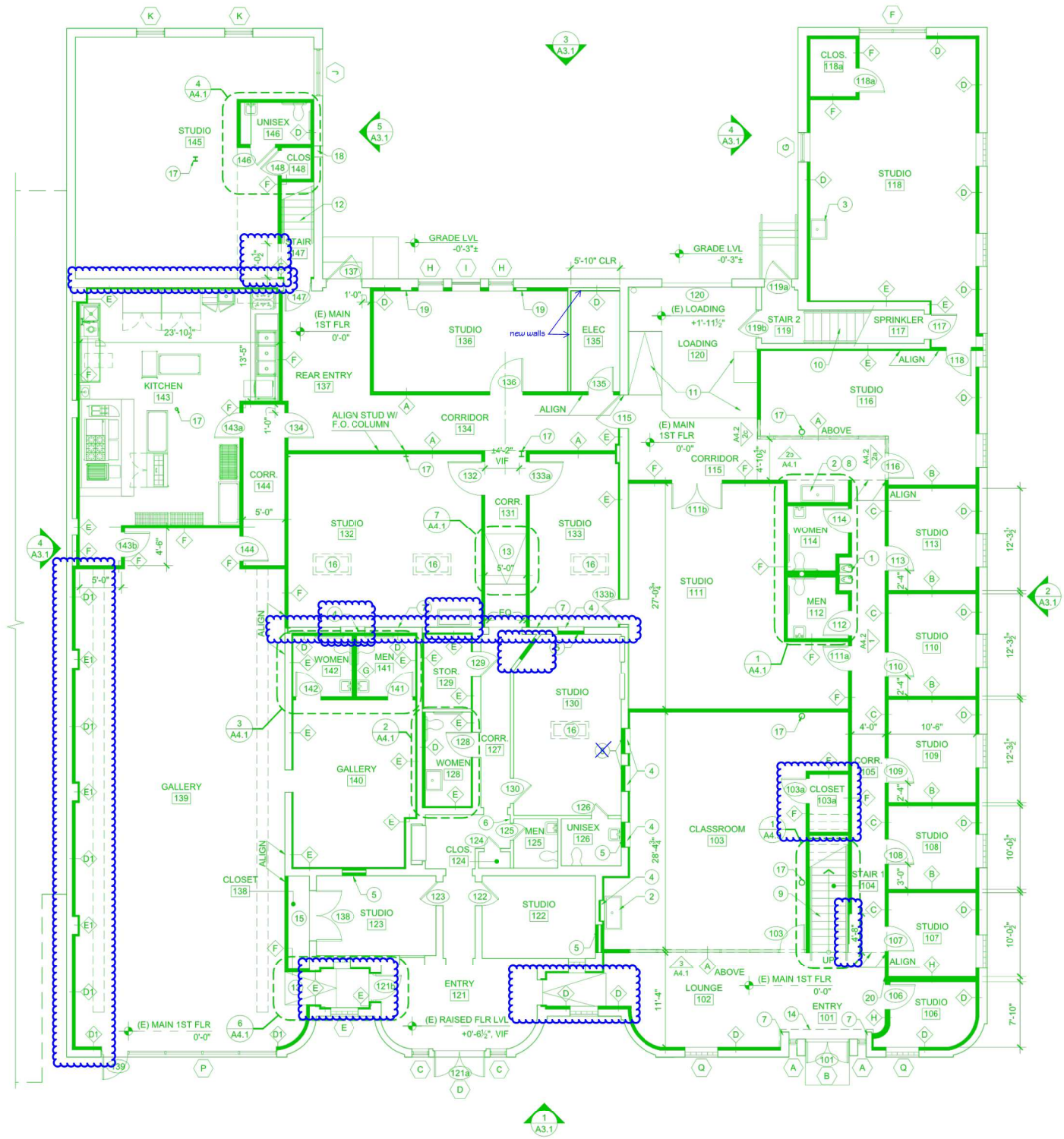
1" = 1'-0"

**FIRST FLOOR CONSTRUCTION PLAN KEYNOTES**

- 1 HI-LO DRINKING FOUNTAIN
- 2 UTILITY SINK, ±4'-0" WIDE
- 3 UTILITY SINK, ±2'-6" WIDE
- 4 INFILL (E) OPENING WITH DISPLAY SHELVES. SEE INTERIOR ELEVATION
- 5 INFILL WALL TO MATCH EXISTING ADJACENT MATERIAL & FINISH
- 6 SIGNAGE COMPLIANT WITH ICC A117.1-2009, SECTION 703, DIRECTING USERS TO ACCESSIBLE FACILITIES
- 7 EXPOSED ORIGINAL BRICK WALL. PATCH OR REPAIR WITH SIMILAR BRICKS UP TO CEILING HEIGHT
- 8 SERVICE SINK
- 9 STEEL PAN AND CONCRETE STAIR WITH PAINTED STEEL HANDRAILS.
- 10 EXISTING CONCRETE STAIR AND STEEL HANDRAILS IN CMU ENCLOSURE TO REMAIN (NOTE: STAIR AND HANDRAILS NOT COMPLIANT WITH CURRENT CODES)
- 11 EXISTING PLATFORM AND RAMP TO REMAIN. PATCH WITH SALVAGED WOOD DECKING AS REQUIRED
- 12 EXISTING WOOD STAIR AND HISTORICAL WOOD HANDRAIL TO REMAIN WITH REPAIRS AS REQUIRED. ADD PAINTED STEEL PIPE HANDRAILS, BOTH SIDES, AT 34" ABOVE NOSING WITH EXTENSIONS AT TOP AND BOTTOM AS INDICATED
- 13 ACCESSIBLE CONCRETE RAMP AND LANDING. REFER TO ENLARGED PLAN
- 14 GYPSUM BOARD CYCROW ABOVE
- 15 INFILL WITH CONCRETE AS REQUIRED TO CREATE FLOOR FLUSH WITH EXISTING ADJACENT
- 16 SKYLIGHT ABOVE, REFER TO REFLECTED CEILING PLAN & ROOF PLAN
- 17 EXPOSED STEEL COLUMN, PAINTED. DO NOT ENGAGE IN WALL UNLESS OTHERWISE NOTED
- 18 EXHAUST VENT IN (E) MASONRY OPENING
- 19 LOCATE WALL FRAMING TO ALLOW GYPSUM BOARD APPLIED FLUSH TO FACE OF PIER
- 20 1 OCATF WALL FRAMING TO A1 LOW F LUSH GYPSUM BOARD FACE ON CORRIDOR SIDE

**FIRST FLOOR CONSTRUCTION PLAN GENERAL NOTES**

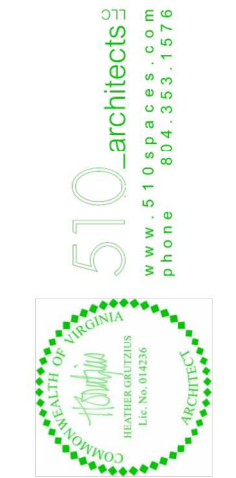
- 1. PROTECT ALL EXISTING FINISHES TO REMAIN THROUGHOUT CONSTRUCTION ACTIVITIES.
- 2. REFER TO HISTORIC REVIEW DRAWING SET FOR ADDITIONAL INFORMATION.
- 3. REFER TO A2.2 FOR DOOR SCHEDULE.
- 4. REFER TO A3.2 FOR EXTERIOR WINDOW SCHEDULE.
- 5. REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR STAIRS, RAMPS AND HANDRAIL DETAILS.
- 6. PROVIDE SIGNAGE WITH BRAILLE AT CORRIDOR SIDE OF ALL INTERIOR DOORS, COMPLIANT WITH ICC A117.1-2009, SECTION 703. COORDINATE DESIGN WITH OWNER.



**FIRST FLOOR CONSTRUCTION PLAN**

1/8" = 1'-0"

NOTE: BATT INSULATION SHALL BE UNFACED WITH FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.



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**FIRST FLOOR CONSTRUCTION PLAN & PARTITION TYPES**

**A2.1**

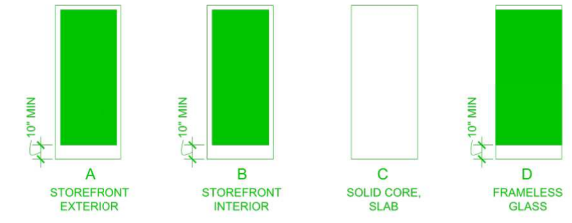
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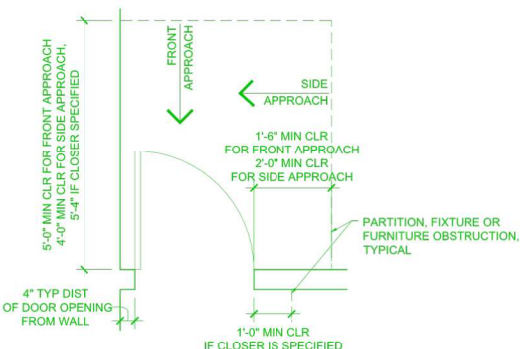
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DOOR SCHEDULE								
#	TYPE	SIZE (WxH)	DOOR		FRAME		HARDWARE	REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH		
<b>FIRST FLOOR</b>								
101	A	(2) 2'-6" x 7'-0" VIF	ALUM. SF	CLR ANOD	ALUM. SF	(E)	ENTRY	NEW DOOR IN EXISTING MASONRY OPENING
102	-	-	-	-	-	-	OFFICE	-
103	B	3'-0" x 7'-0"	ALUM. SF	CLR ANOD	ALUM. SF	CLR ANOD	OFFICE	-
103a	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	STOREROOM	-
104	-	-	-	-	-	-	-	-
105	-	-	-	-	-	-	OFFICE	-
106	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	OFFICE	2 1/4" DOOR THICKNESS WITH FULL PERIMETER NEOPRENE, FRAME APPLIED GASKETS AND ACCESSIBLE ALUMINUM SADDLE THRESHOLD
107	-	-	-	-	-	-	OFFICE	-
108	-	-	-	-	-	-	OFFICE	-
109	-	-	-	-	-	-	OFFICE	-
110	-	-	-	-	-	-	OFFICE	-
111a	-	-	-	-	-	-	OFFICE	-
111b	-	(2) 3'-0" x 7'-0"	-	-	-	-	OFFICE	-
112	-	3'-0" x 7'-0"	-	-	-	-	PRIVACY	-
113	-	3'-0" x 7'-0"	-	-	-	-	OFFICE	-
114	-	3'-0" x 7'-0"	-	-	-	-	PRIVACY	-
115	(E)	(E)	(E)	PTD	(E)	PTD	PASSAGE	REPAIR DOOR AS REQUIRED
116	B	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	ALUM. SF	CLR ANOD	OFFICE	-
117	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	STOREROOM	-
118	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	OFFICE	-
118a	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	OFFICE	-
118a	(E)	(E)	(E)	PTD	(E)	PTD	ENTRY	-
118b	(E)	(E)	(E)	PTD	(E)	PTD	PASSAGE	-
120	(E)	(E)	(E)	PTD	(E)	PTD	N/A	OVERHEAD DOOR
121a	A	(2) 3'-0" x 7'-0" VIF	ALUM. SF	CLR ANOD	ALUM. SF	CLR ANOD	ENTRY	-
121b	D	3'-0" x 7'-0"	GLASS	FRAMELESS	-	-	-	SEE NOTE: CRL WEDGE-LOCK DRY GLAZE DOOR RAIL SYSTEM WITH CRL-BLUMCRAFT DESIGNER 110 SERIES PANIC HARDWARE BRUSHED STAINLESS STEEL FINISH
122	(E)	(E)	(E)	(E)	(E)	(E)	(E)	-
123	-	-	-	-	-	-	-	-
124	-	-	-	-	-	-	-	-
125	-	-	-	-	-	-	-	-
126	-	-	-	-	-	-	-	-
127	-	-	-	-	-	-	-	-
128	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	PRIVACY	-
129	(E)	(E)	(E)	(E)	(E)	(E)	STOREROOM	-
130	(E)	(E)	(E)	(E)	(E)	(E)	OFFICE	-
131	-	-	-	-	-	-	-	-
132	C	4'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	OFFICE	-
133a	C	4'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	OFFICE	-
133b	(E)	(E)	(E)	PTD	(E)	PTD	PASSAGE	WITH DEADBOLT, MASTER KEY-OPERATED FROM BOTH SIDES
134	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	STOREROOM	PANIC WITH KEYED ACCESS
135	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	STOREROOM	-
136	C	4'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	OFFICE	-
137	(E)	(E)	(E)	PTD	(E)	PTD	ENTRY	-
138	C	(2) 3'-0" x 7'-0" VIF	SC WD	BIRCH, SEALED	KD / HM	PTD	PASSAGE	VERIFY WIDTH IN EXISTING OPENING
139	A	3'-0" x 7'-0"	ALUM. SF	CLR ANOD	ALUM. SF	CLR ANOD	SEE NOTE	CONCEALED VERTICAL ROD PANIC DEVICE W/ INTERIOR CYLINDER DOGGING FUNCTION
140	-	-	-	-	-	-	-	-
141	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	PRIVACY	-
142	-	-	-	-	-	-	PRIVACY	-
143a	-	-	-	-	-	-	PUSH/PULL	WITH KEYED ACCESS AND KICKPLATE
143b	-	-	-	-	-	-	PUSH/PULL	WITH KEYED ACCESS AND KICKPLATE
144	-	-	-	-	-	-	PANIC	-
145	-	-	-	-	-	-	-	-
146	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	PRIVACY	**NO CLOSER PERMITTED
147	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	OFFICE	**NO CLOSER PERMITTED
148	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	PASSAGE	-
#	TYPE	SIZE (WxH)	MATERIAL	FINISH	MATERIAL	FINISH	HARDWARE	REMARKS
<b>SECOND FLOOR</b>								
201	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	OFFICE	-
202	-	-	-	-	-	-	PASSAGE	-
203	-	-	-	-	-	-	OFFICE	-
204	-	-	-	-	-	-	PASSAGE	-
205	-	-	-	-	-	-	OFFICE	-
206	-	-	-	-	-	-	PRIVACY	-
207	-	-	-	-	-	-	PRIVACY	-
208	-	-	-	-	-	-	OFFICE	-
209	-	-	-	-	-	-	-	-
210	C	3'-0" x 7'-0"	SC WD	BIRCH, SEALED	KD / HM	PTD	OFFICE	-
211	-	-	-	-	-	-	-	-
212	-	-	-	-	-	-	-	-

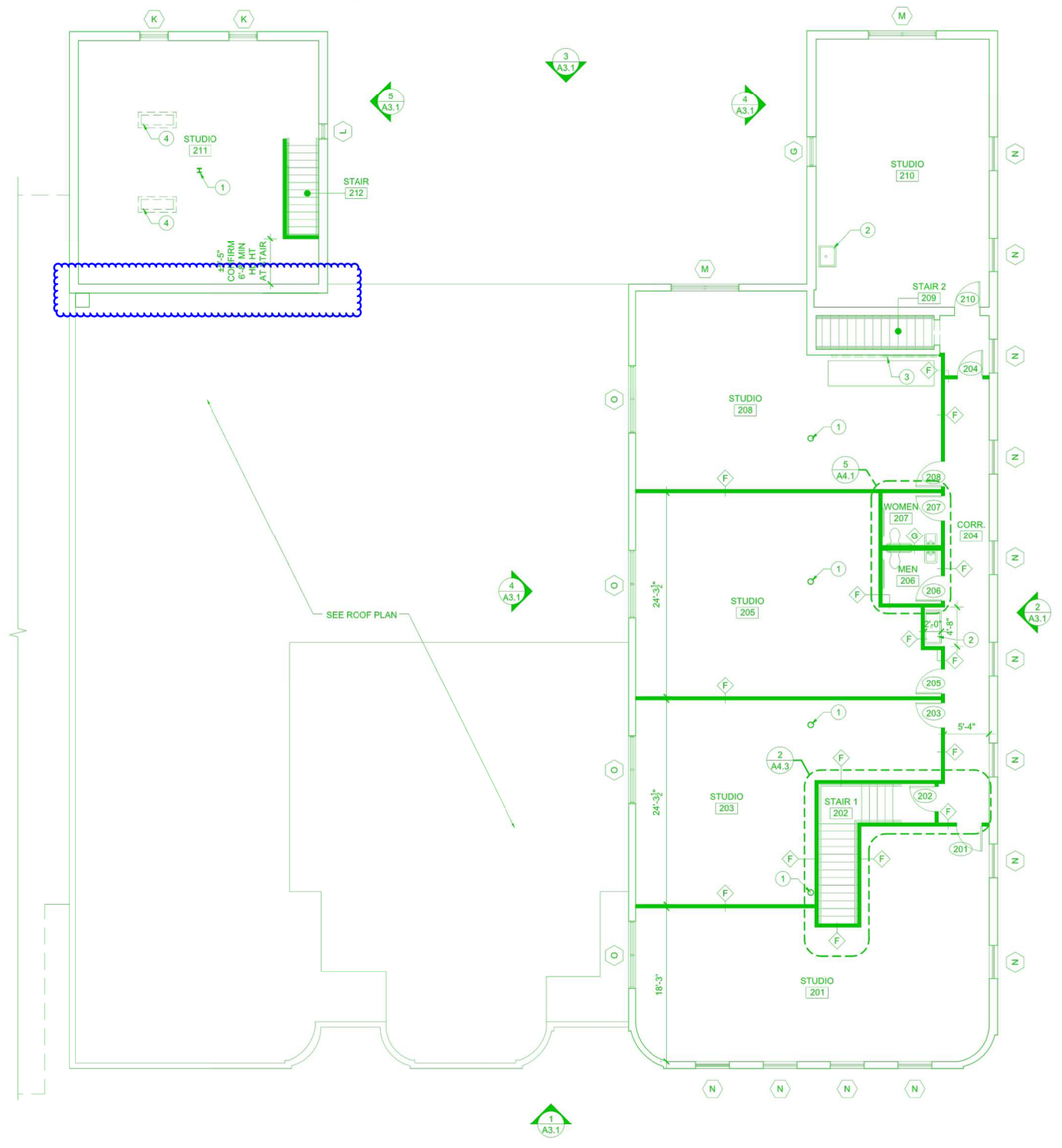
- DOOR SCHEDULE NOTES**
- DOOR HARDWARE BASIS OF DESIGN: DORMA C500 SERIES OR EQ, SATIN CHROME FINISH (US26D).
  - CONFIRM HARDWARE TYPES WITH OWNER PRIOR TO ORDERING. COORDINATE KEYING WITH OWNER.



**DOOR TYPES**  
NOT TO SCALE



**TYP DOOR CLEARANCES DETAIL**  
NOT TO SCALE



**SECOND FLOOR CONSTRUCTION PLAN**  
1/8" = 1'-0"

- SECOND FLOOR CONSTRUCTION PLAN GENERAL NOTES**
- PROTECT ALL EXISTING FINISHES TO REMAIN THROUGHOUT CONSTRUCTION ACTIVITIES.
  - REFER TO HISTORIC REVIEW DRAWING SET FOR ADDITIONAL INFORMATION.
  - REFER TO A2.1 FOR PARTITION TYPES.
  - REFER TO A3.2 FOR EXTERIOR WINDOW SCHEDULE.
  - REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR STAIRS, RAMPS AND HANDRAIL DETAILS.
  - PROVIDE SIGNAGE WITH BRAILLE AT CORRIDOR SIDE OF ALL INTERIOR DOORS, COMPLIANT WITH ICC A117.1-2009, SECTION 703. COORDINATE DESIGN WITH OWNER.

- SECOND FLOOR CONSTRUCTION PLAN KEYNOTES**
- EXPOSED STEEL COLUMN, PAINTED
  - UTILITY SINK, ±4'-0" WIDE
  - REINSTALL SALVAGED DOOR PANEL AND TRACK IN FIXED POSITION WITHIN ADJACENT STUDIO
  - SKYLIGHT ABOVE, REFER TO REFLECTED CEILING PLAN & ROOF PLAN

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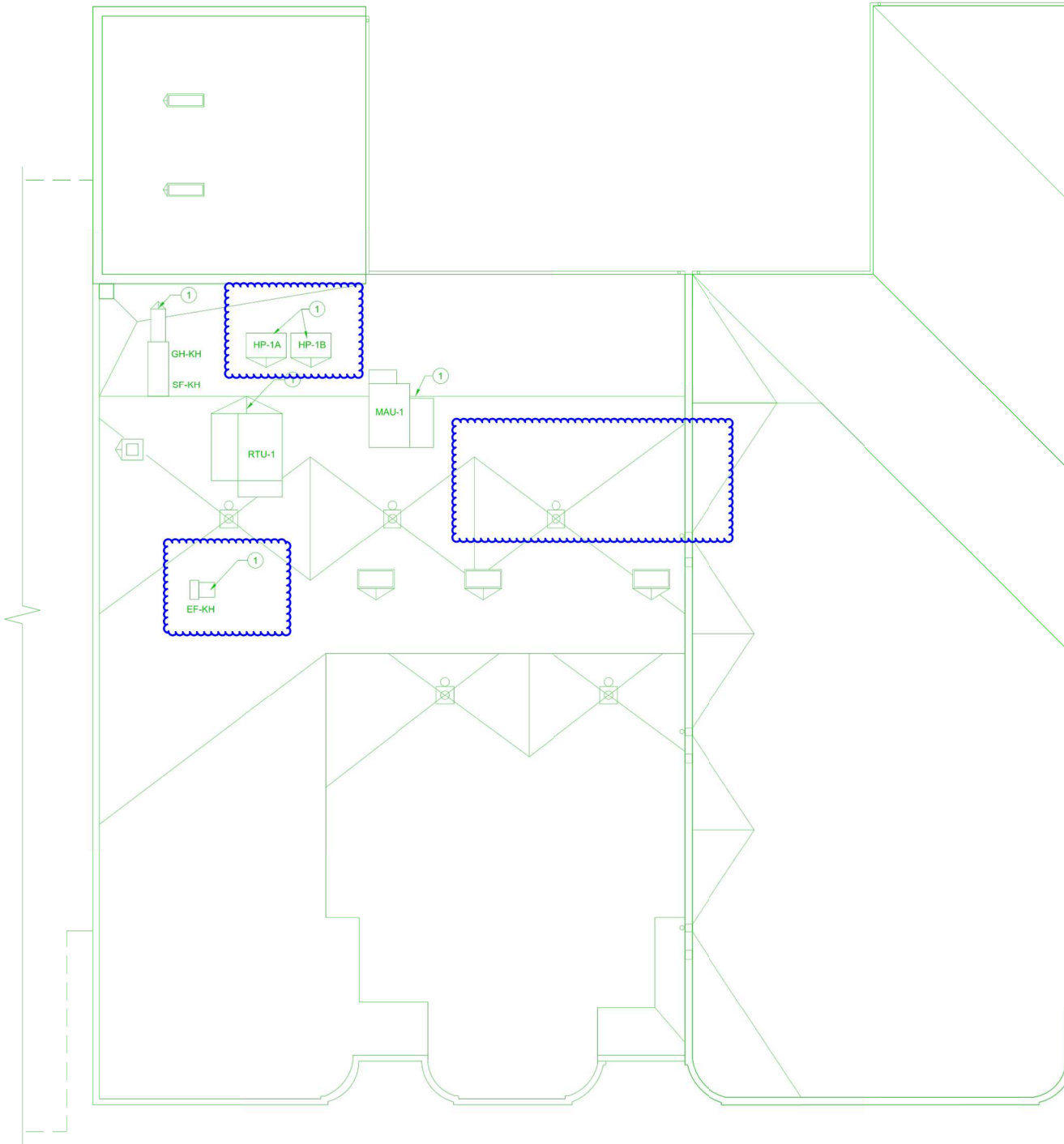
**SECOND FLOOR CONSTRUCTION PLAN & SCHEDULES  
A2.2**

**ROOF PLAN KEYNOTES**

- ① NEW MECHANICAL UNIT ON CURB. ADD CRICKET AS REQUIRED.

**ROOF PLAN GENERAL NOTES**

- 1. ALL ROOFING MATERIALS, ACCESSORIES AND PENETRATION DETAILS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ROOF TYPE AND SPECIFIED WARRANTY PERIOD. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS WITH ARCHITECTURAL DETAILS.
- 2. ENSURE MINIMUM SLOPE OF 1/4" PER FOOT AT CRICKETS.



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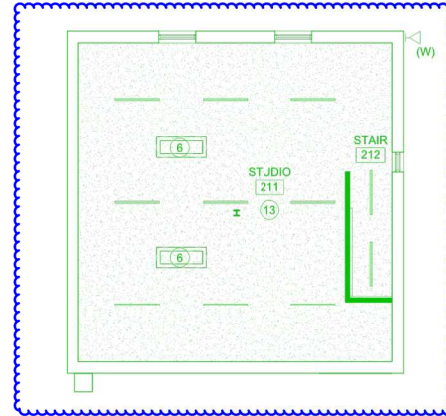
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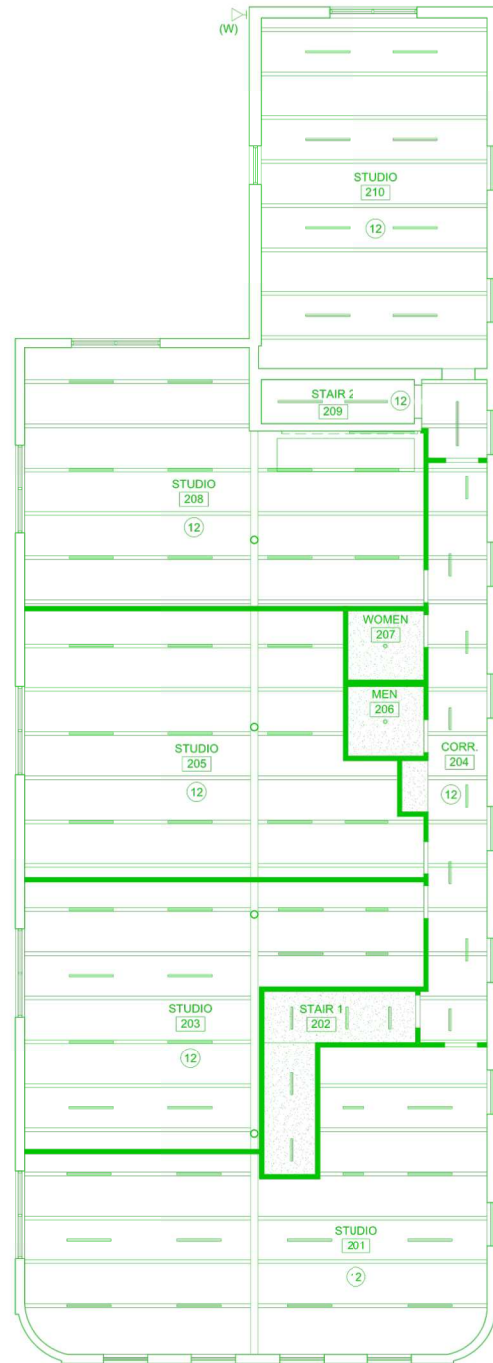
**LIGHT FIXTURE LEGEND**

- GENERAL NOTES:**
- '(W)' INDICATES EXTERIOR OR WET RATED FIXTURE
  - '(E)' INDICATES EXISTING FIXTURE TO REMAIN
  - STUDIOS, GALLERIES, LOUNGE & ENTRY #121 LIGHTING TO BE ON DIMMERS, TYPICAL.
- 2' LED TAPE LIGHT
  - 4' LED TAPE LIGHT
  - TRACK LIGHT & INCANDESCENT TRACK HEADS
  - (W) LED SCONCE, EXTERIOR
  - ⊗ PENDANT
  - 6" RECESSED CAN
  - ▽ 2x4 FLUORESCENT, RECESSED, (3) LAMP
  - 2x4 FLUORESCENT, RECESSED, (2) LAMP
  - 4' FLUORESCENT STRIP, PENDANT MOUNTED, (2) LAMP
  - 4' FLUORESCENT STRIP, SURFACE MOUNTED, (2) LAMP
  - △ (W) WALL-MOUNTED SECURITY FIXTURE



**CEILING MATERIAL LEGEND**

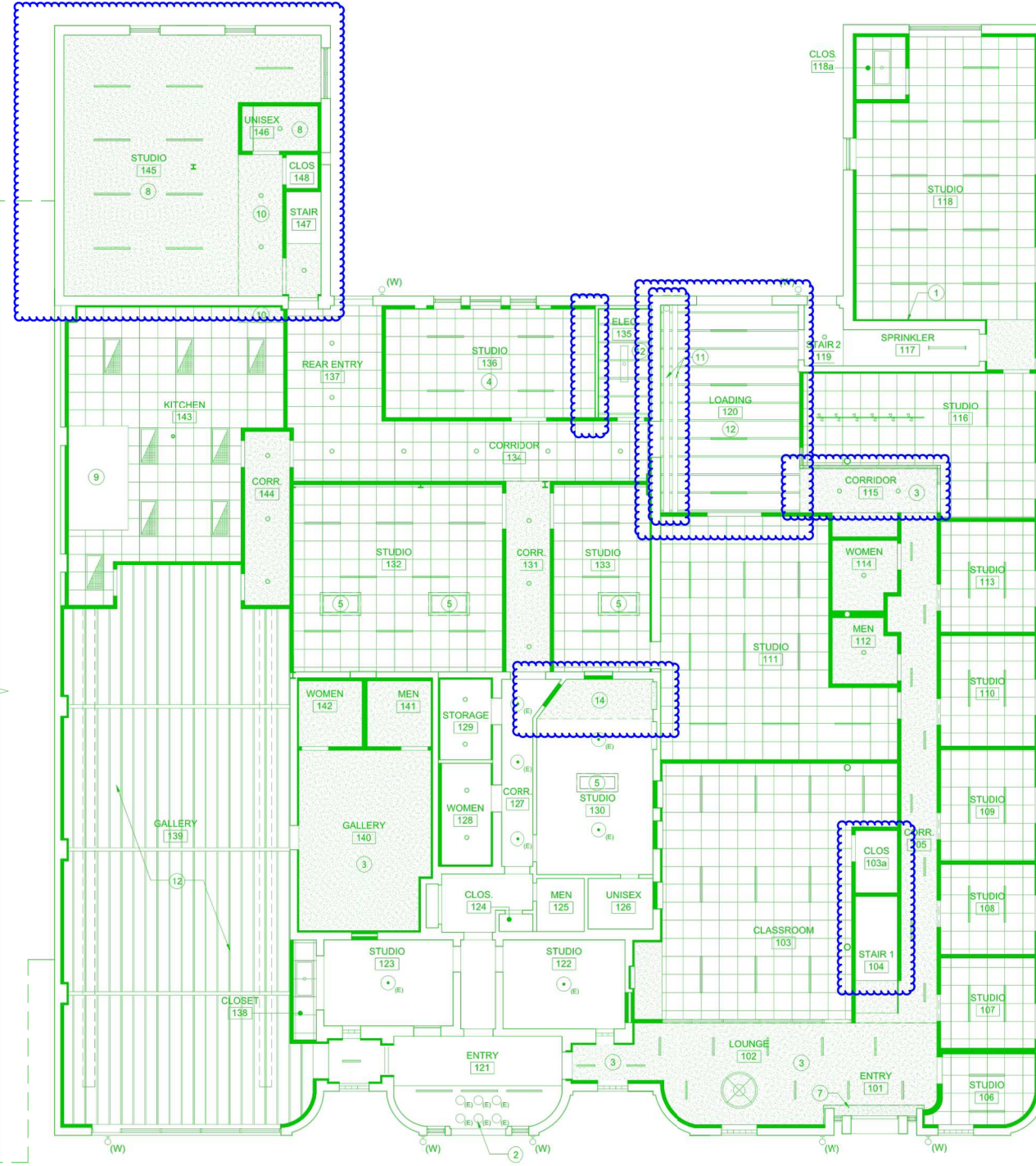
- ▭ **ACOUSTICAL CEILING TILE**  
ARMSTRONG CIRRUS, ANGLED TEGULAR, OR APPROVED EQUAL  
BOTTOM OF GRIC AT 10'-0" UNLESS OTHERWISE NOTED
- ▭ **VINYL COATED ACOUSTICAL CEILING TILE**  
ARMSTRONG CLEAN ROOM FL, OR APPROVED EQUAL  
BOTTOM OF GRIC AT 9'-0" UNLESS OTHERWISE NOTED
- ▭ **HIGH-NRC PERFORMANCE ACOUSTICAL CEILING TILE**  
ARMSTRONG CIRRUS HIGH-NRC, ANGLED TEGULAR, OR APPROVED EQUAL  
BOTTOM OF GRIC AT 10'-0" UNLESS OTHERWISE NOTED
- ▭ **GYPSUM BOARD, PAINTED**  
BOTTOM OF GYP AT 9'-0" UNLESS OTHERWISE NOTED



SECOND FLOOR REFLECTED CEILING & LIGHTING PLAN 2  
1/8" = 1'-0"

**REFLECTED CEILING & LIGHTING PLAN KEYNOTES**

- INCLUDE POWER FOR (6) REFRIGERATORS ON SEPARATE CIRCUIT
- REFURBISH (E) ENTRY DOWNLIGHTS
- GYPSUM BOARD CEILING AT 10'-0" AFF
- ACOUSTICAL TILE CEILING AT 11'-0" AFF
- SKYLIGHT, 34'-6" x 2'-6", WITH FINISHED GYPSUM BOARD PERIMETER TO 6" BELOW CEILING - SEE DETAIL THIS SHEET
- SKYLIGHT, 14'-6" x 1'-10", WITH FINISHED GYPSUM BOARD PERIMETER TO 6" BELOW CEILING - SEE DETAIL THIS SHEET
- GYPSUM BOARD SOFFIT / EYEBROW ABOVE EXISTING BRICK PIERS
- GYPSUM BOARD CEILING TIGHT TO EXISTING JOISTS, ± 8'-2" AFF
- EXHAUST HOOD, SEE KITCHEN EQUIPMENT DRAWINGS
- GYPSUM BOARD BULKHEAD TIGHT TO NEW DUCTWORK TO MAXIMIZE HEIGHT, 7'-6" AFF MIN
- (2) 8" EXPOSED ROOF DRAIN PIPES AT LOCATION OF REMOVED PIPE
- EXPOSE EXISTING STRUCTURE & DECKING ABOVE, DO NOT FINISH
- GYPSUM BOARD CEILING FRAMED TO BE FLAT, TIGHT TO LOW END OF ROOF JOISTS, ± 9'-0" AFF
- PATCH GYPSUM BOARD CEILING TO ALIGN WITH EXISTING ADJACENT



FIRST FLOOR REFLECTED CEILING & LIGHTING PLAN 1  
1/8" = 1'-0"

**REFLECTED CEILING & LIGHTING PLAN GENERAL NOTES**

- LIGHTING SHOWN FOR DESIGN INTENT ONLY. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS AND DETAILS.
- REFER TO KITCHEN EQUIPMENT LIST FOR ADDITIONAL INFORMATION.
- SECOND FLOOR EAST BAY BAR JOISTS AND CONCRETE ROOF PANELS TO REMAIN EXPOSED, DO NOT FINISH

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**REFLECTED  
CEILING &  
LIGHTING PLANS  
A2.4**

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FINISH SCHEDULE						
TAG	DESCRIPTION	MANUFACTURER	ITEM	SIZE	COLOR / FINISH	NOTES
<b>FLOORING &amp; BASE</b>						
EP-1	EPOXY COATING	TBD	TBD	N/A	TBD	TYPICAL AT 1 <sup>ST</sup> FLOOR CONCRETE FLOORS UNLESS OTHERWISE NOTED
CT-1	CERAMIC TILE & COORD. WALL BASE	AMERICAN OLEAN	FUSION COTTO	12X24	CF13 MARRONE	1/3RD STAGGER BRICK PATTERN, WITH COORD. BULLNOSE BASE
VT-1	VINYL TILE	PROCEDO FLOORING	FORTANA	12X12	WINNIPEG FWII	TYPICAL AT SECOND FLOOR UNLESS OTHERWISE NOTED
WD-1	WOOD, RECLAIMED	N/A	TBD			PROVIDED BY OWNER, FOR STUDIO #211 ONLY
TH-1	THRESHOLD, SLOPED	TBD	ACCESSIBLE THRESHOLD	TBD	TBD	TYPICAL AT CONCRETE TO TILE TRANSITIONS
VB-1	VINYL WALL BASE	JOHNSONITE	TRADITIONAL BASE, COVE	4" HIGH, 1/2" THK	31 ZEPHYR	TYPICAL AT CONCRETE & VINYL TILE FLOORS UON
<b>PAINT &amp; WALLS</b>						
PT-1	LATEX PAINT, GYP BD CEILINGS	TBD	N/A		TBD	SATIN FINISH
PT-2	OIL BASED PAINT, HM TRIM					SEMI-GLOSS FINISH ON PAINTED DOORS / HMTRIM / WALLS AS NOTED
PT-3	LATEX PAINT, TYPICAL WALL					SATIN FINISH
PT-4	LATEX PAINT, GALLERY WALL					FLAT FINISH
PT-5	LATEX PAINT, ACCENT WALL					SATIN FINISH
PT-6	LATEX PAINT, TOILET ROOMS					SEMI-GLOSS FINISH, TOILET WALLS
PT-7	OIL BASED PAINT, EXPOSED STEEL					SEMI-GLOSS
<b>MISC</b>						
GL-1	GLAZING	TBD	1/4" GLASS PANEL	VARIES	CLEAR	TRANSOM GLAZING IN WALL TYPE "C"

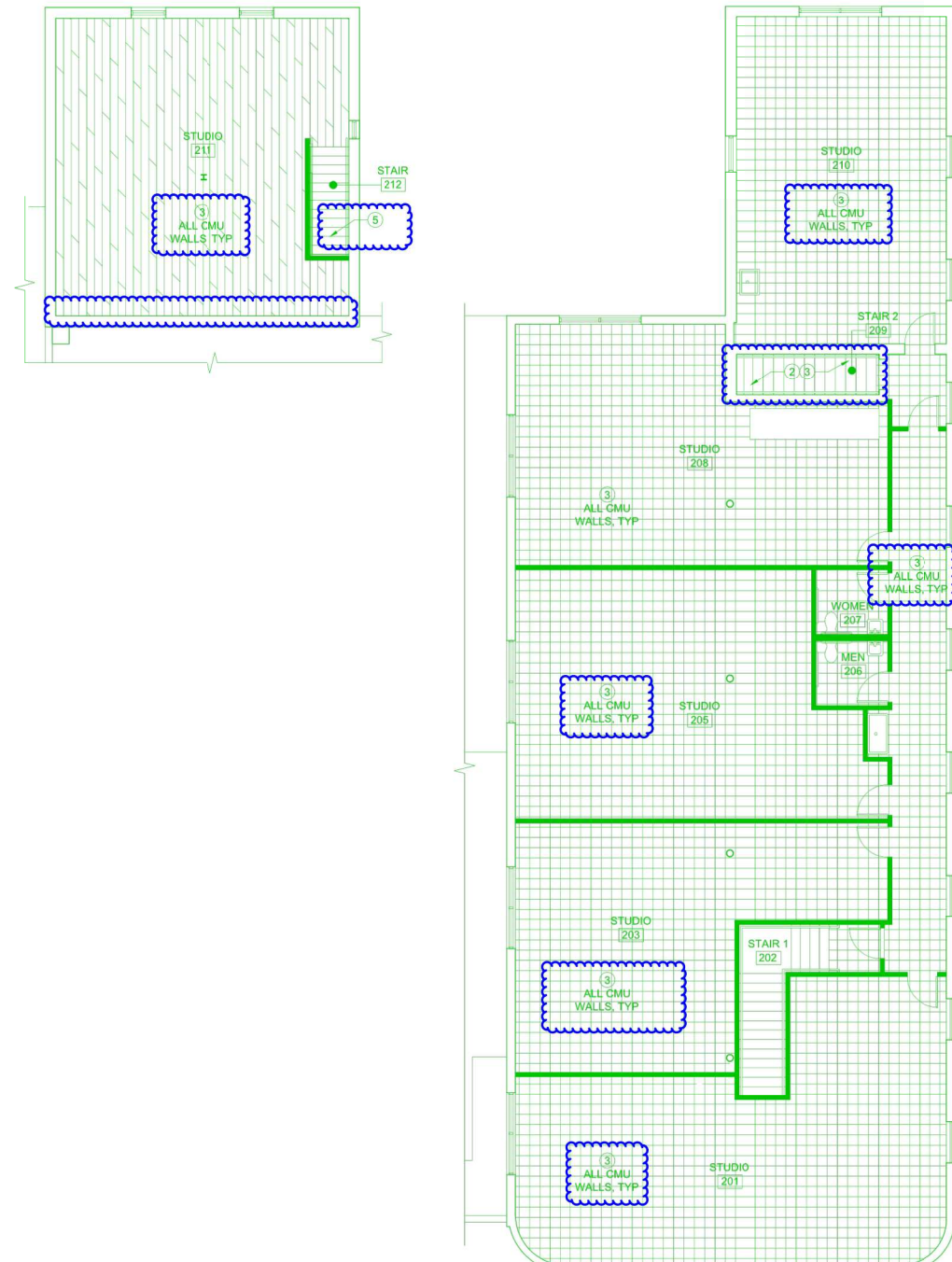
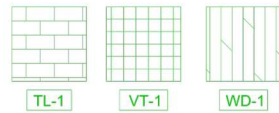
**FINISH PLAN KEYNOTES**

1. REPAIR PARGED MASONRY
2. EXISTING STAIRS TO RECEIVE CLEAR, NON-SLIP PROTECTIVE COATING
3. EXPOSED / UNFINISHED CMU TO REMAIN, PROTECT DURING CONSTRUCTION
4. REPAIR / REPOINT ORIGINAL BRICK FACADE
5. PATCH AND REPAIR EXISTING STAIR TREADS, MATCH 2ND FLOOR WOOD FINISH. REPAINT RISERS

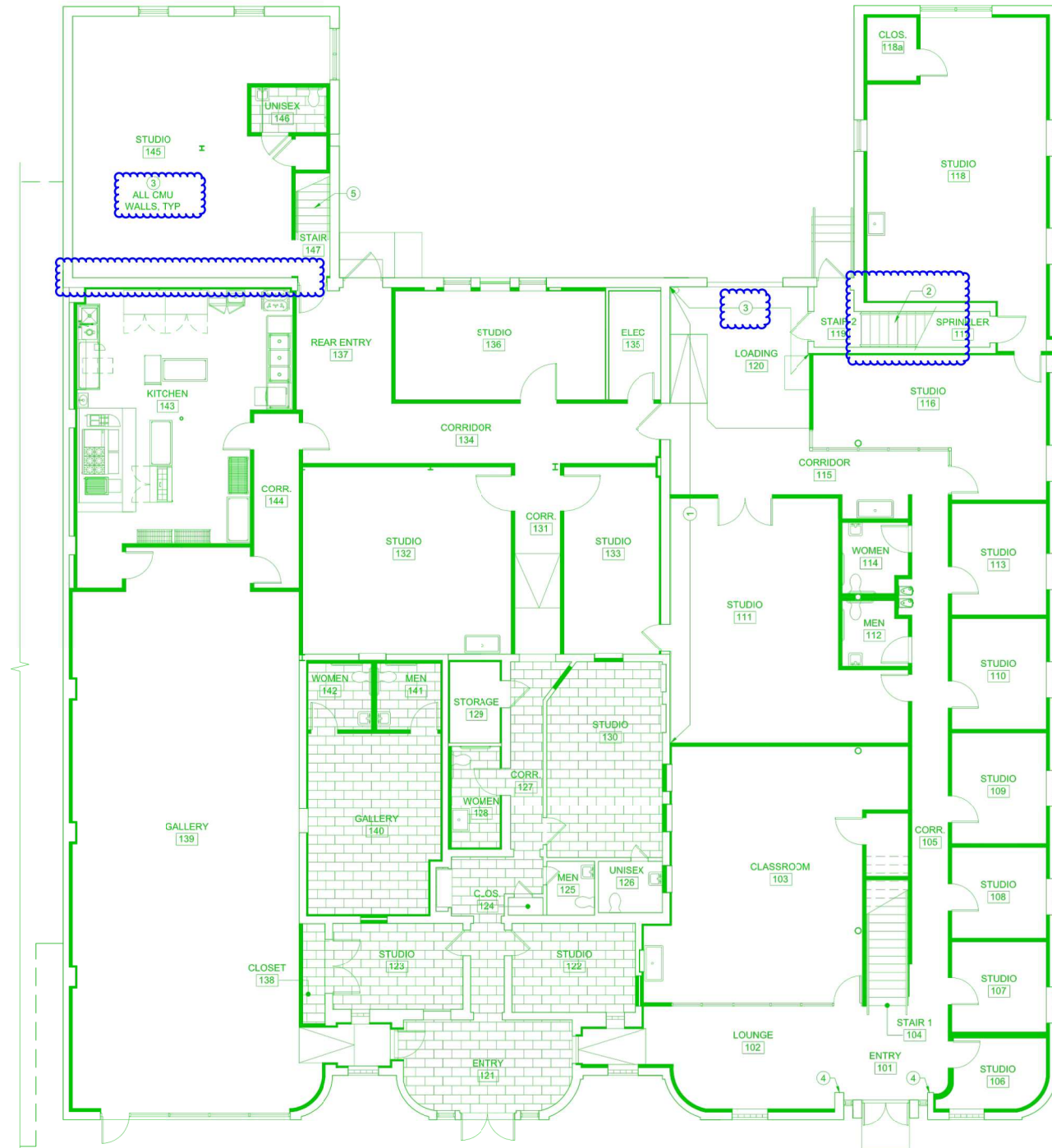
**FINISH PLAN GENERAL NOTES**

1. SEE FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR ADDITIONAL FINISH INFORMATION.
2. FIRST FLOOR TO BE EPOXY COATED [EP-1], TYPICAL UNLESS OTHERWISE NOTED.
3. ALL WALLS TO BE PAINTED [PT-3], TYPICAL, UNLESS OTHERWISE NOTED ON SCHEDULE OR FINISH PLAN.
4. ALL EXPCSD STEEL TO BE PAINTED [PT-7], TYPICAL.
5. PATCH / REPAIR SECOND FLOOR SUBFLOOR AS REQUIRED TO RECEIVE NEW FLOORING AS SCHEDULED.

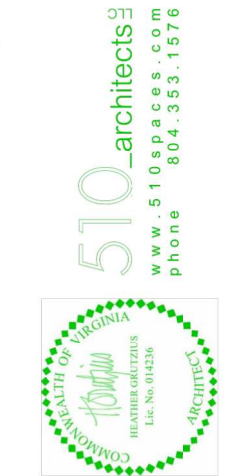
**FLOORING MATERIALS LEGEND**



SECOND FLOOR FINISH PLAN 2  
1/8" = 1'-0"



FIRST FLOOR FINISH PLAN 1  
1/8" = 1'-0"



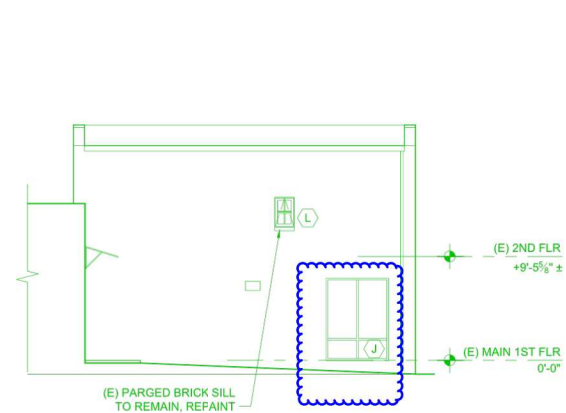
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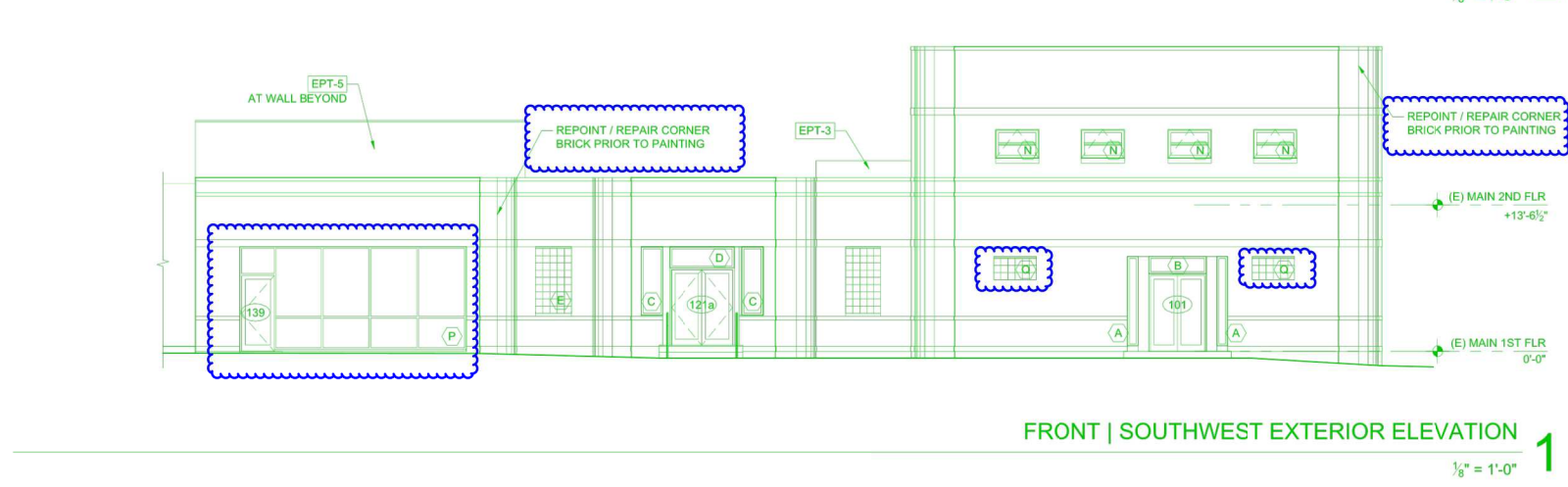
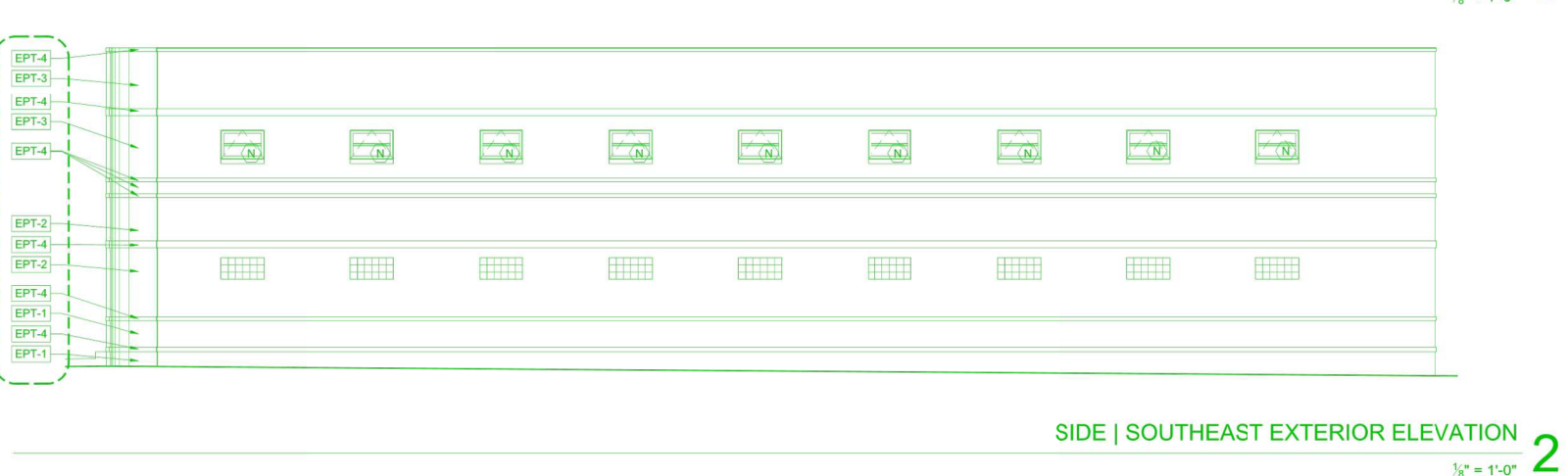
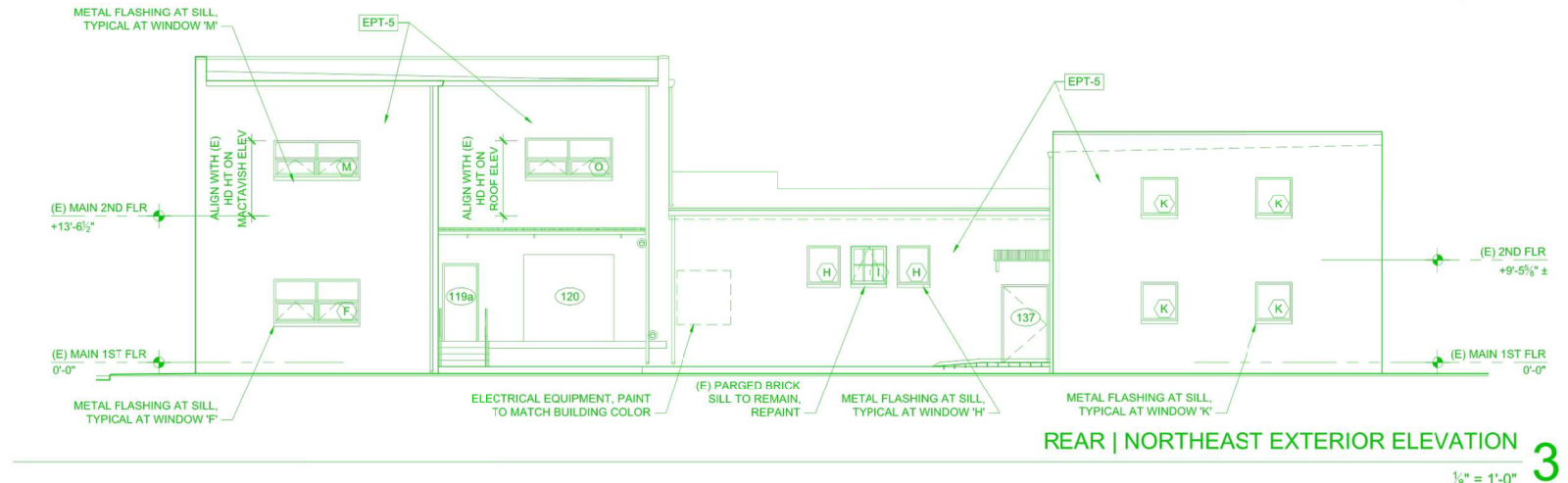
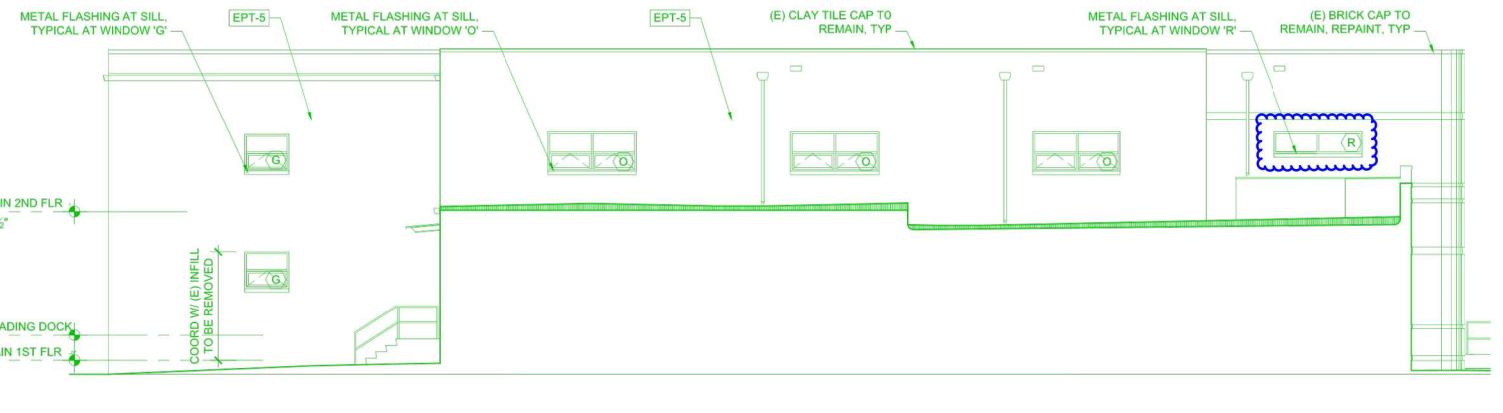
FINISH PLANS & FINISH SCHEDULE  
**A2.5**

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PARTIAL SIDE | SOUTHEAST EXTERIOR ELEVATION 5  
 $\frac{1}{8}'' = 1'-0''$



SIDE | NORTHWEST EXTERIOR ELEVATION 4  
 $\frac{1}{8}'' = 1'-0''$



FRONT | SOUTHWEST EXTERIOR ELEVATION 1  
 $\frac{1}{8}'' = 1'-0''$

EXTERIOR FINISH SCHEDULE				
TAG	DESCRIPTION	MANUFACTURER	COLOR / FINISH	NOTES
EPT-1	EXTERIOR LATEX PAINT, BASE	TBD	TBD	SATIN
EPT-2	EXTERIOR LATEX PAINT, 1ST STORY BRICK			SATIN
EPT-3	EXTERIOR LATEX PAINT, 2ND STORY BRICK			SATIN
EPT-4	EXTERIOR LATEX PAINT, ACCENT BANDS			SATIN
EPT-5	EXTERIOR LATEX PAINT, FIELD			SATIN, TYPICAL FIELD COLOR U.O.N.
EPT-6	OIL-BASED PAINT, EXPOSED STEEL			SEMI-GLOSS, TYPICAL AT EXPOSED STEEL ANGLES

\*\* SEE ARCHITECTURAL SITE PLAN AND ROOF PLAN FOR ADDITIONAL NOTES ON EXTERIOR FINISHES \*\*

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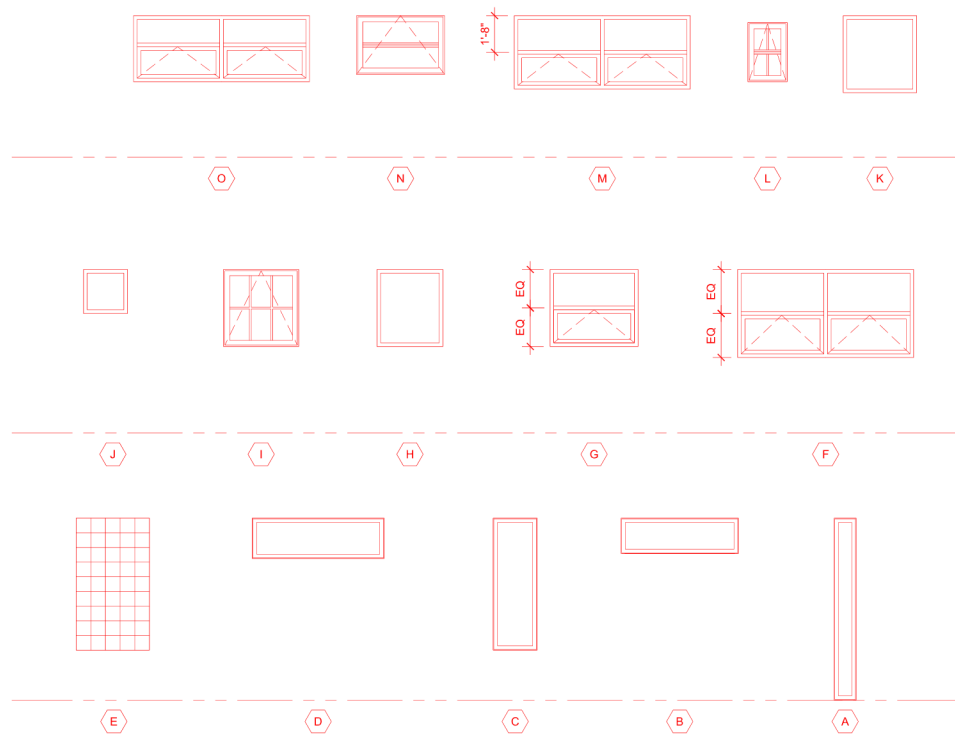
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EXTERIOR ELEVATIONS  
**A3.1**

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WINDOW SCHEDULE				
WDW	TYPE	R.O. SIZE, W x H	FINISH	REMARKS
A	STOREFRONT, FIXED	±1'-0" x ±8'-3 1/2" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING
B	STOREFRONT, FIXED	±5'-4" x ±1'-7 1/2" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING
C	STOREFRONT, FIXED	±2'-0" x ±6'-4" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING
D	STOREFRONT, FIXED	±6'-0" x ±2'-0" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING
E	GLASS BLOCK	±3'-4" x ±6'-0" VIF	CLR.	INFILL IN EXISTING OPENING, PITTSBURGH CORNING ENDURA PATTERN
F	STOREFRONT FIXED / AWNING	8'-0" x 4'-0" OVERALL (2) 4'-0" x 4'-0" UNITS	CLR. ANOD.	COORDINATE WITH NEW MASONRY OPENING, SEE DEMOLITION PLANS
G	STOREFRONT FIXED / AWNING	4'-0" x 3'-6"	CLR. ANOD.	COORDINATE SIZE & LOCATION WITH EXISTING INFILL AT FIRST FLOOR
H	STOREFRONT, FIXED	3'-0" x ±3'-6" VIF	CLR. ANOD.	COORD WITH NEW MASONRY OPENING, SEE DEMOLITION PLANS. MATCH HT WITH (E) ADJ
I	ALUM. WINDOW UNIT, AWNING	±3'-5" x ±3'-6" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING, SEE ELEVATION FOR GRILLE PATTERN
J	STOREFRONT, FIXED	±2'-0" x ±2'-0" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING
K	STOREFRONT, FIXED	3'-4" x 3'-6"	CLR. ANOD.	COORDINATE WITH NEW MASONRY OPENING, SEE DEMOLITION PLANS
L	ALUM. WINDOW UNIT, AWNING	±1'-9 1/2" x ±2'-8" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING, WITH HORIZONTAL TRUE MUNTIN, SEE ELEVATION FOR GRILLE PATTERN
M	STOREFRONT FIXED / AWNING	8'-0" x 3'-4" OVERALL (2) 4'-0" x 3'-4" UNITS	CLR. ANOD.	COORDINATE WITH NEW MASONRY OPENING, SEE DEMOLITION PLANS
N	ALUM. WINDOW UNIT, AWNING	±4'-0" x ±2'-8" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING, WITH HORIZONTAL TRUE MUNTIN
O	STOREFRONT FIXED / AWNING	8'-0" x 3'-0" OVERALL (2) 4'-0" x 3'-0" UNITS	CLR. ANOD.	INFILL IN EXISTING OPENING

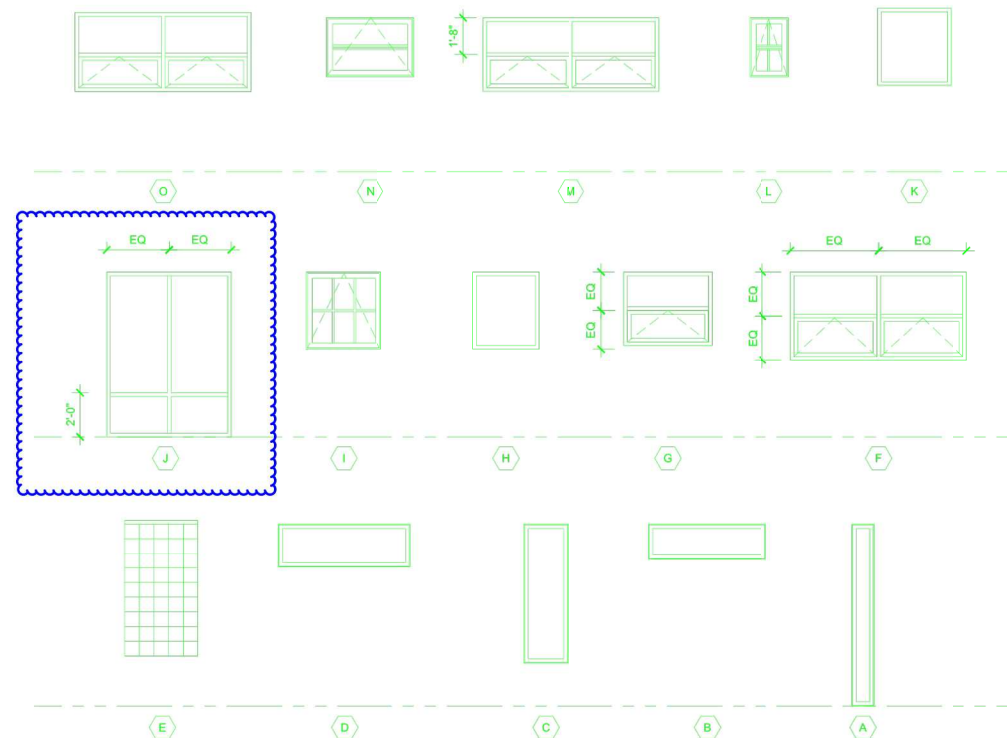
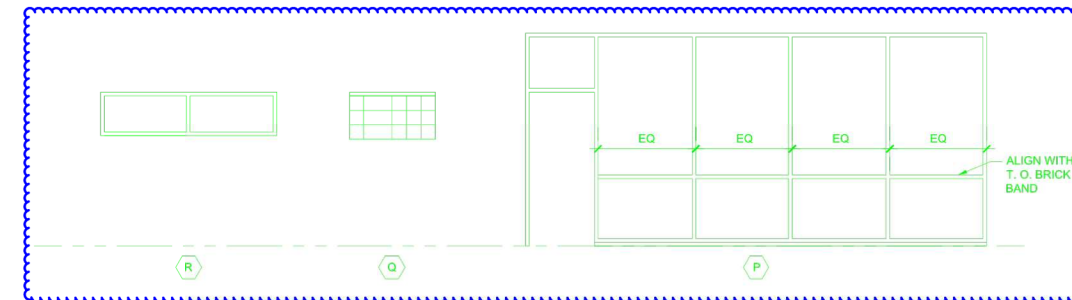
- WINDOW SCHEDULE GENERAL NOTES**
- ROUGH OPENING DIMENSIONS DO NOT INCLUDE SILLS, SEE EXTERIOR ELEVATIONS FOR SILL LOCATIONS & TYPES.
  - SEE EXTERIOR ELEVATIONS FOR ROUGH OPENING / WINDOW HEAD HEIGHT INFORMATION.



WINDOW ELEVATIONS  
NOT TO SCALE

EXTERIOR WINDOW SCHEDULE				
WDW	TYPE	R.O. SIZE, W x H	FINISH	REMARKS
A	STOREFRONT, FIXED	±1'-0" x ±8'-3 1/2" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING
B	STOREFRONT, FIXED	±5'-4" x ±1'-7 1/2" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING
C	STOREFRONT, FIXED	±2'-0" x ±6'-4" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING
D	STOREFRONT, FIXED	±6'-0" x ±2'-0" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING
E	GLASS BLOCK	±3'-4" x ±6'-0" VIF	CLR.	INFILL IN EXISTING OPENING, PITTSBURGH CORNING ENDURA PATTERN
F	STOREFRONT FIXED / AWNING	8'-0" x 4'-0" OVERALL (2) 4'-0" x 4'-0" UNITS	CLR. ANOD.	COORDINATE WITH NEW MASONRY OPENING, SEE DEMOLITION PLANS
G	STOREFRONT FIXED / AWNING	4'-0" x 3'-4"	CLR. ANOD.	COORDINATE SIZE & LOCATION WITH EXISTING INFILL AT FIRST FLOOR
H	STOREFRONT, FIXED	3'-0" x ±3'-6" VIF	CLR. ANOD.	COORD WITH NEW MASONRY OPENING, SEE DEMOLITION PLANS. MATCH HT W/ (E) ADJ
I	ALUM. WINDOW UNIT, AWNING	±3'-5" x ±3'-6" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING, SEE ELEVATION FOR GRILLE PATTERN
J	STOREFRONT, FIXED	±2'-0" x ±2'-0" VIF	CLR. ANOD.	COORDINATE WITH NEW MASONRY OPENING / EXISTING STEEL LINTEL TO REMAIN
K	STOREFRONT, FIXED	3'-4" x 3'-6"	CLR. ANOD.	COORDINATE WITH NEW MASONRY OPENING, SEE DEMOLITION PLANS
L	ALUM. WINDOW UNIT, AWNING	±1'-9 1/2" x ±2'-8" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING, WITH HORIZONTAL TRUE MUNTIN, SEE ELEVATION FOR GRILLE PATTERN
M	STOREFRONT FIXED / AWNING	8'-0" x 3'-4" OVERALL (2) 4'-0" x 3'-4" UNITS	CLR. ANOD.	COORDINATE WITH NEW MASONRY OPENING, SEE DEMOLITION PLANS
N	ALUM. WINDOW UNIT, AWNING	±4'-0" x ±2'-8" VIF	CLR. ANOD.	INFILL IN EXISTING OPENING, WITH HORIZONTAL TRUE MUNTIN
O	STOREFRONT FIXED / AWNING	8'-0" x 3'-7" OVERALL (2) 4'-0" x 3'-7" UNITS	CLR. ANOD.	COORD WITH NEW MASONRY OPENING, SEE DEMOLITION PLANS
P	STOREFRONT	±21'-0" x 9'-8"	CLR. ANOD.	COORDINATE WITH ADJACENT STOREFRONT DOOR
Q	GLASS BLOCK	±3'-11" x ±2'-2" VIF	CLR.	PITTSBURGH CORNING ENDURA PATTERN
R	STOREFRONT	8'-0" x 2'-0" OVERALL	CLR. ANOD.	COORD WITH NEW MASONRY OPENING, EXISTING STEEL LINTEL TO REMAIN

- WINDOW SCHEDULE GENERAL NOTES**
- ROUGH OPENING DIMENSIONS DO NOT INCLUDE SILLS, SEE EXTERIOR ELEVATIONS FOR SILL LOCATIONS & TYPES.
  - SEE EXTERIOR ELEVATIONS FOR ROUGH OPENING / WINDOW HEAD HEIGHT INFORMATION.
  - EXTERIOR STOREFRONT GLAZING TO BE CLEAR.
  - INTERIOR STOREFRONT GLAZING TO BE CLEAR.



EXTERIOR WINDOW ELEVATIONS  
NOT TO SCALE

PROGRESS SET - NOT FOR CONSTRUCTION

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EXTERIOR WINDOW  
EXTERIOR  
ELEVATIONS

A3.2

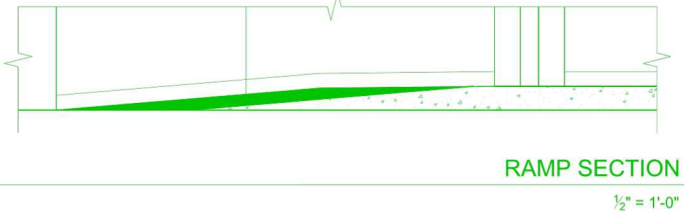
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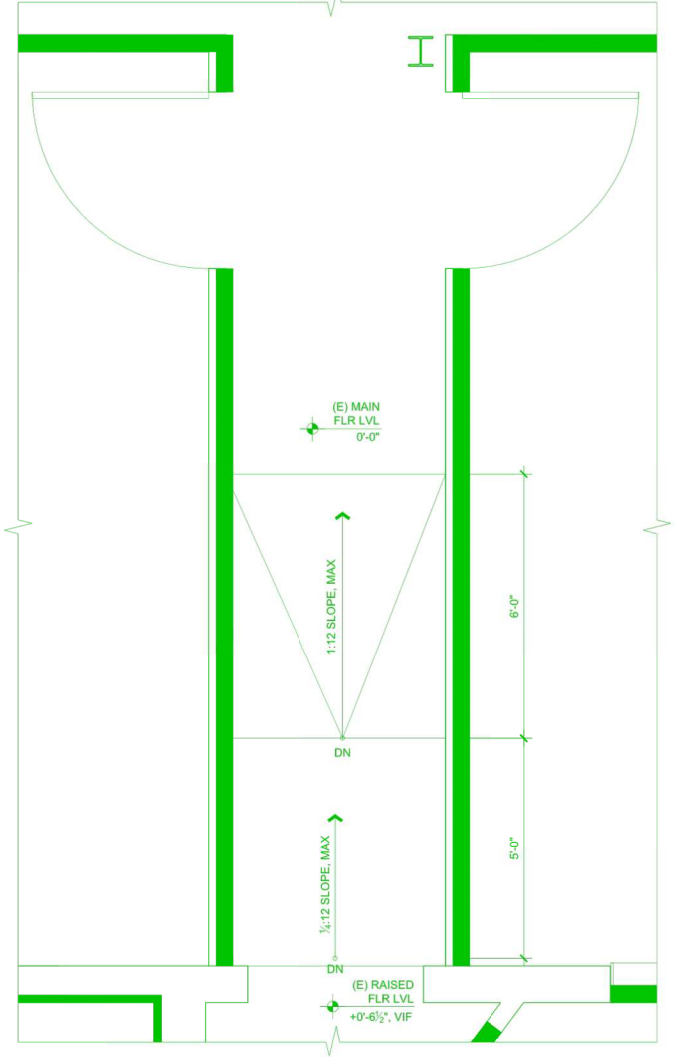
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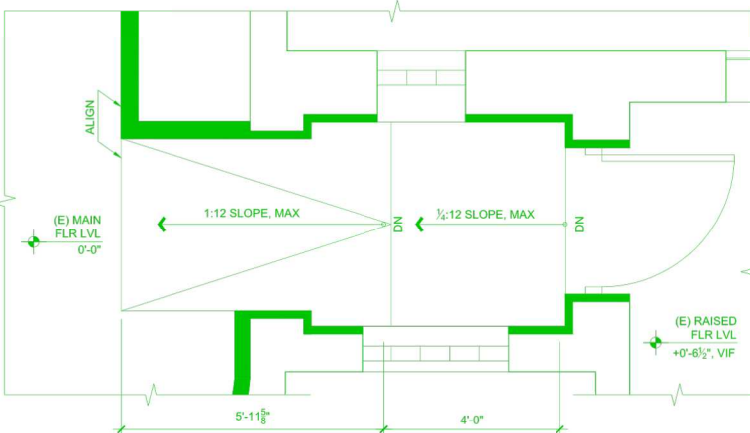
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RAMP SECTION 8  
1/2" = 1'-0"

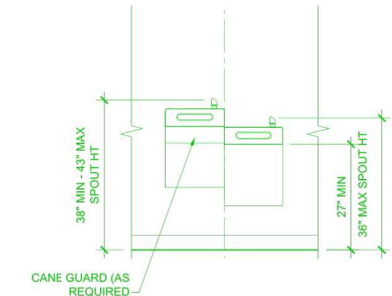


ENLARGED PLAN | RAMP AT CORRIDOR #131  
1/2" = 1'-0"

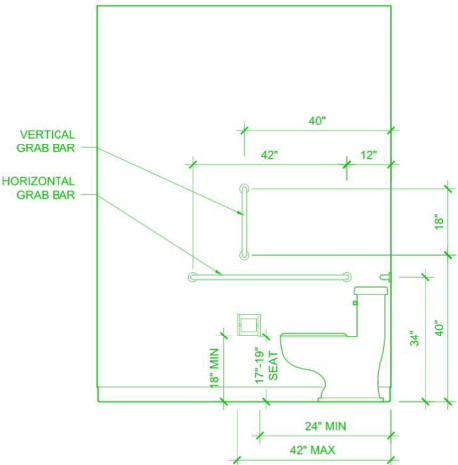


ENLARGED PLAN | RAMP AT ENTRY #121  
1/2" = 1'-0"

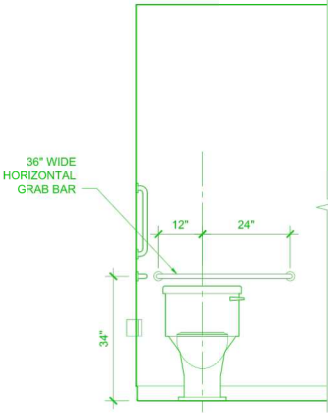
NOTE: NO HANDRAIL REQUIRED WHEN RISE IS LESS THAN 6"



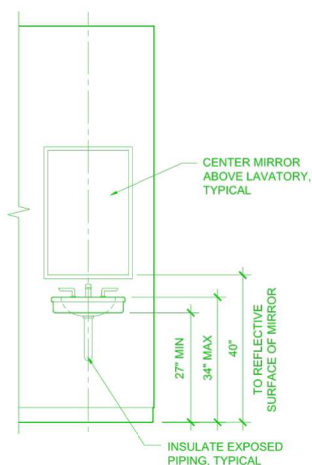
TYPICAL DRINKING FOUNTAIN ELEVATION D  
1/2" = 1'-0"



TYPICAL TOILET GRAB BAR - SIDE C  
1/2" = 1'-0"

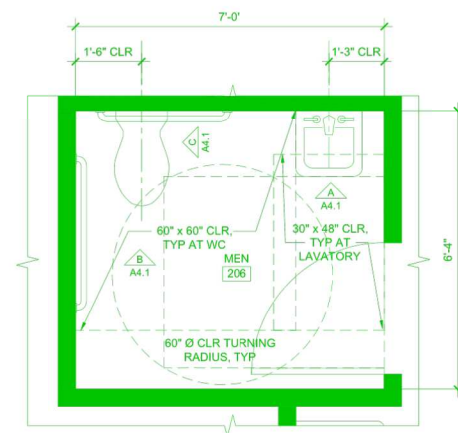


TYPICAL TOILET GRAB BAR - FRONT B  
1/2" = 1'-0"



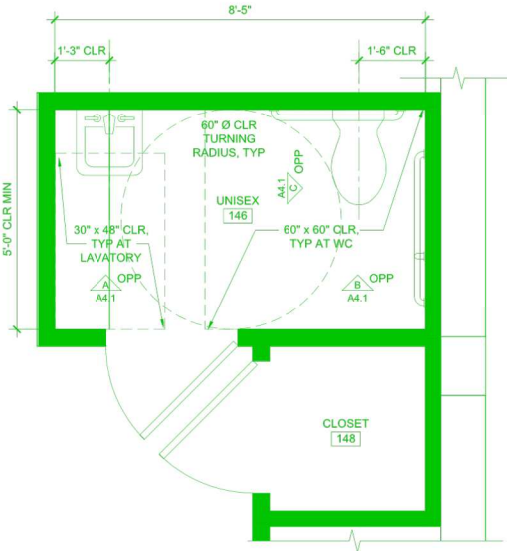
TYPICAL LAVATORY ELEVATION A  
1/2" = 1'-0"

NOTE: ALL TOILET ACCESSORIES SHALL COMPLY WITH ICC A117.1-2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES GUIDELINES

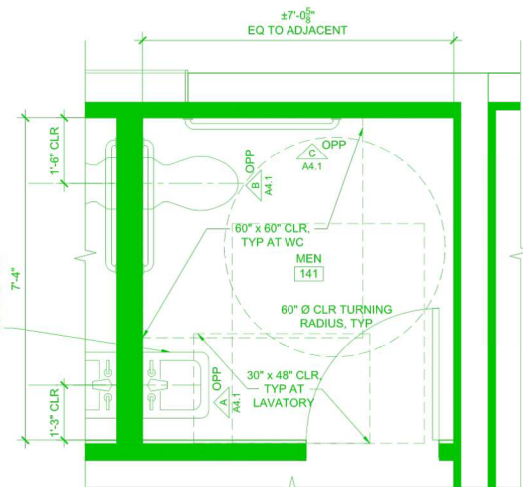


ENLARGED PLAN | MEN #206 5  
1/2" = 1'-0"

NOTE: WOMEN #207, OPPOSITE ORIENTATION

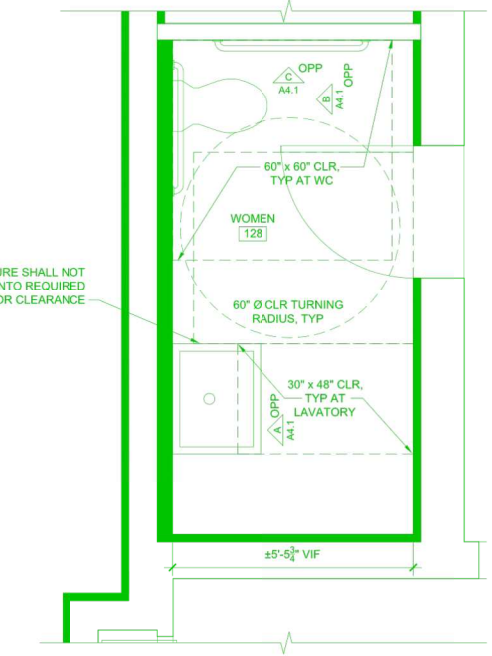


ENLARGED PLAN | UNISEX # 146 4  
1/2" = 1'-0"

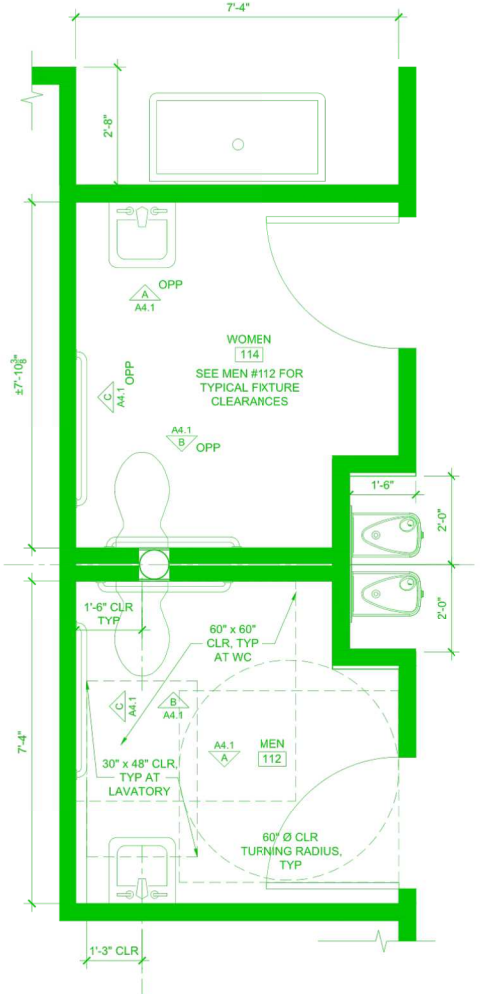


ENLARGED PLAN | MEN # 141 3  
1/2" = 1'-0"

NOTE: WOMEN #142, OPPOSITE ORIENTATION



ENLARGED PLAN | WOMEN #128 2  
1/2" = 1'-0"



ENLARGED PLAN | MEN #112 & WOMEN #114 1  
1/2" = 1'-0"

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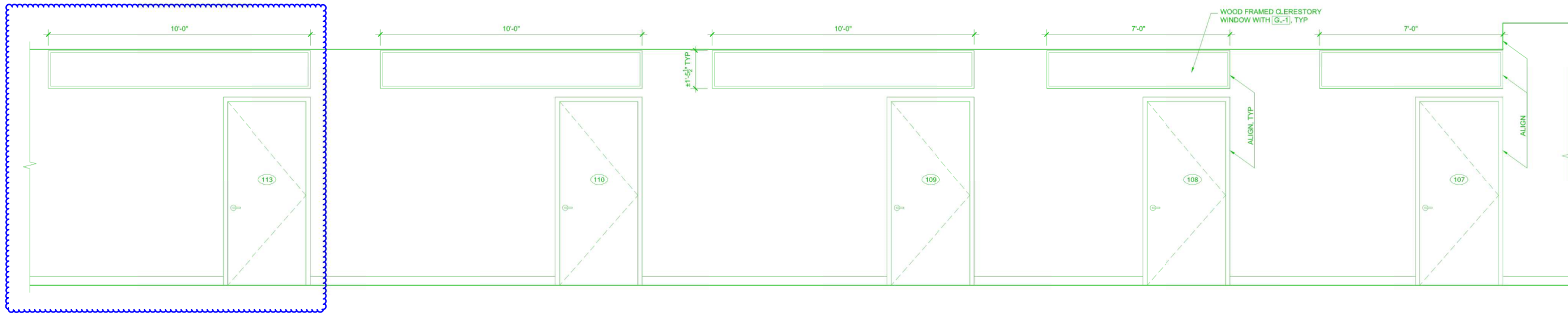
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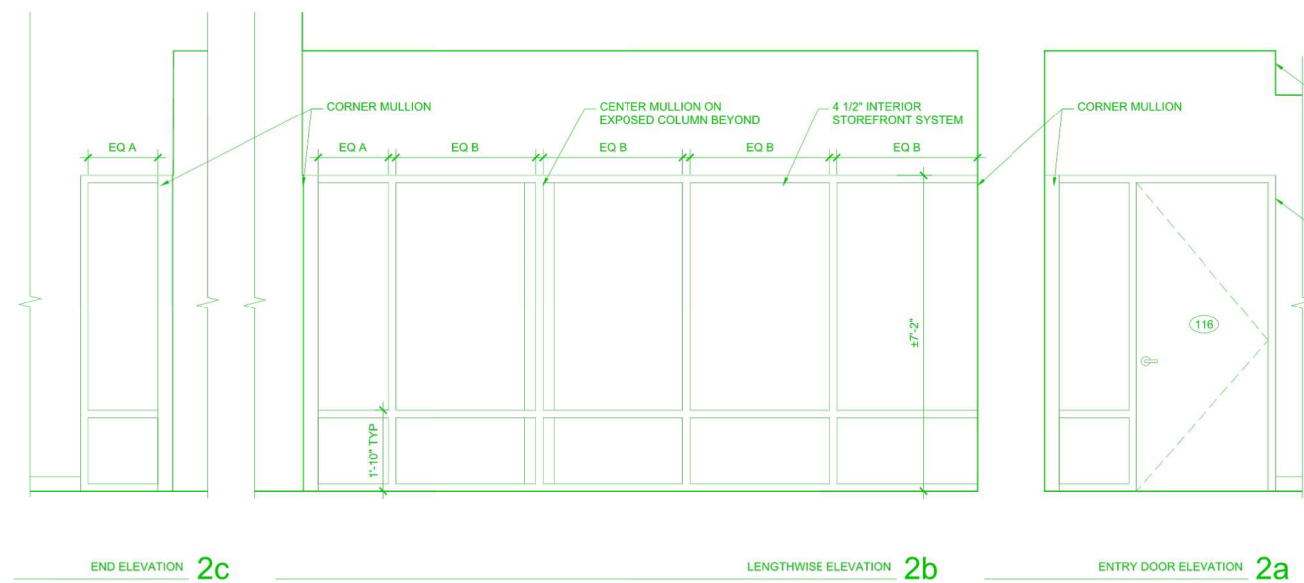
ENLARGED  
PLANS &  
INTERIOR  
ELEVATIONS

A4.1

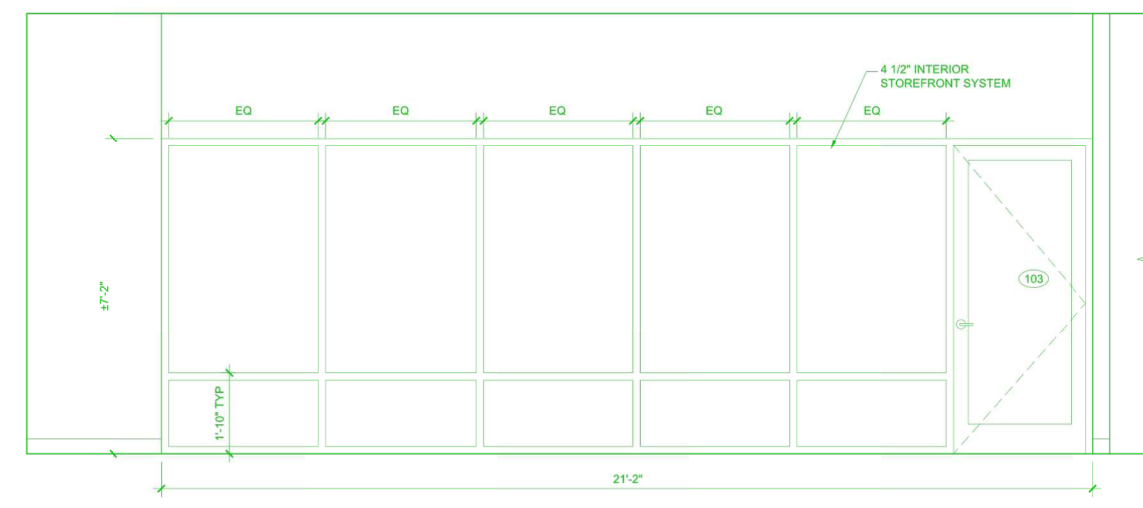
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STUDIO TRANSOM ELEVATIONS 1  
1/2" = 1'-0"



STUDIO #116 STOREFRONT INTERIOR ELEVATIONS 2  
1/2" = 1'-0"



CLASSROOM #103 STOREFRONT ELEVATION 3  
1/2" = 1'-0"

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INTERIOR ELEVATIONS

A4.2

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RENOVATION

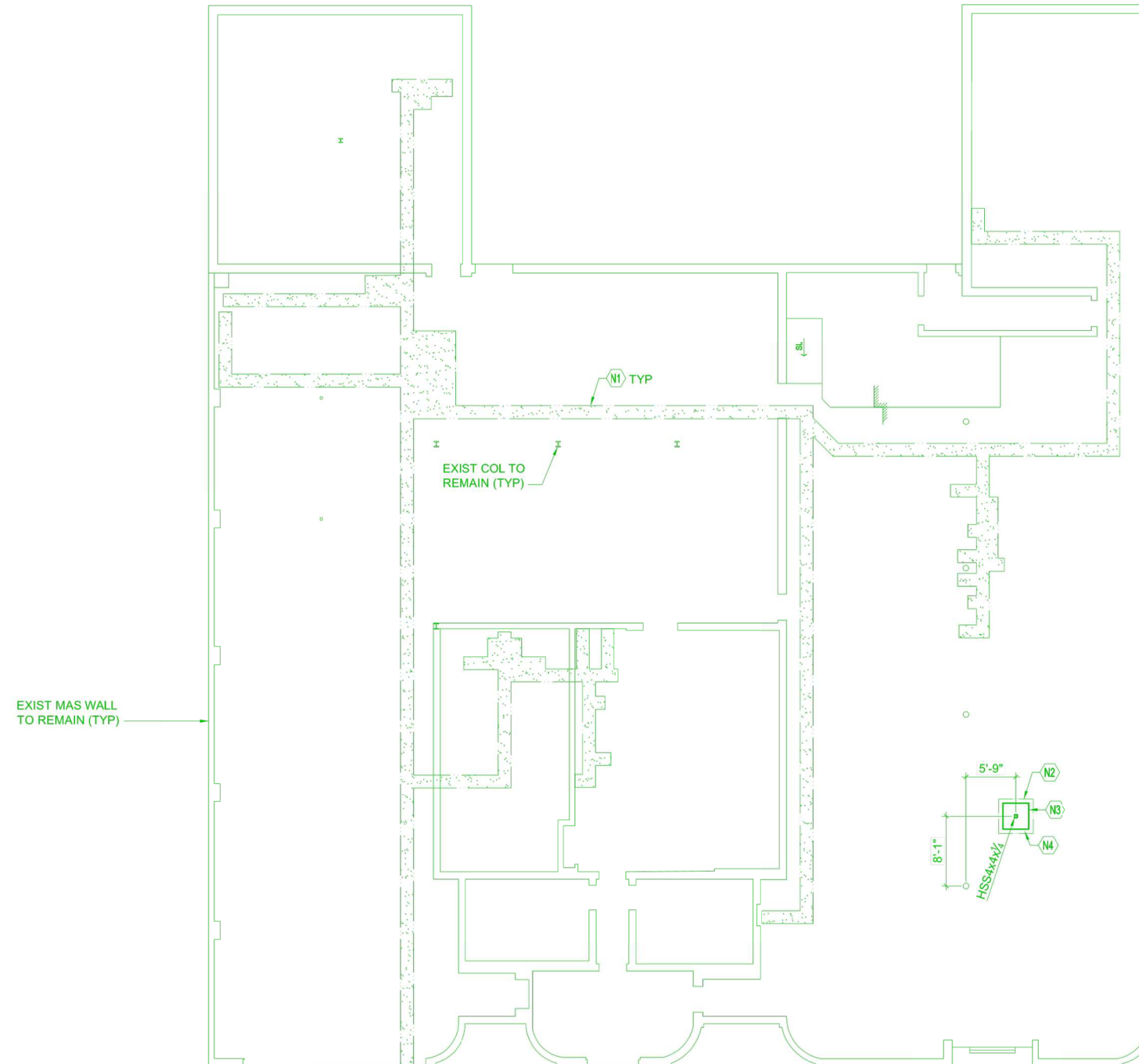


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**FOUNDATION KEY NOTES:**

- N1. SAW CUT AND REMOVE SLAB ON GRADE AS REQUIRED FOR NEW UNDERGROUND UTILITIES. LOCATIONS SHOWN ARE APPROXIMATE AND MAY NOT SHOW ALL LOCATIONS, CONTRACTOR TO FIELD VERIFY.
- N2. SAWCUT AND REMOVE SLAB ON GRADE FOR NEW NEW FOOTING.
- N3. NEW FOOTING. REFER TO TYPICAL DETAIL ON S5.1. TOP OF FOOTING = 0'-8".
- N4. AFTER APPROVAL OF NEW COLUMN AND ANCHOR BOLT INSTALLATION. PROVIDE NEW 4" THICK SLAB ON GRADE REINFORCED WITH WWR 6x6 W1.4 x W1.4, 1" CLEAR FROM TOP OF SLAB. REFER TO TYPICAL DETAILS ON S5.1.



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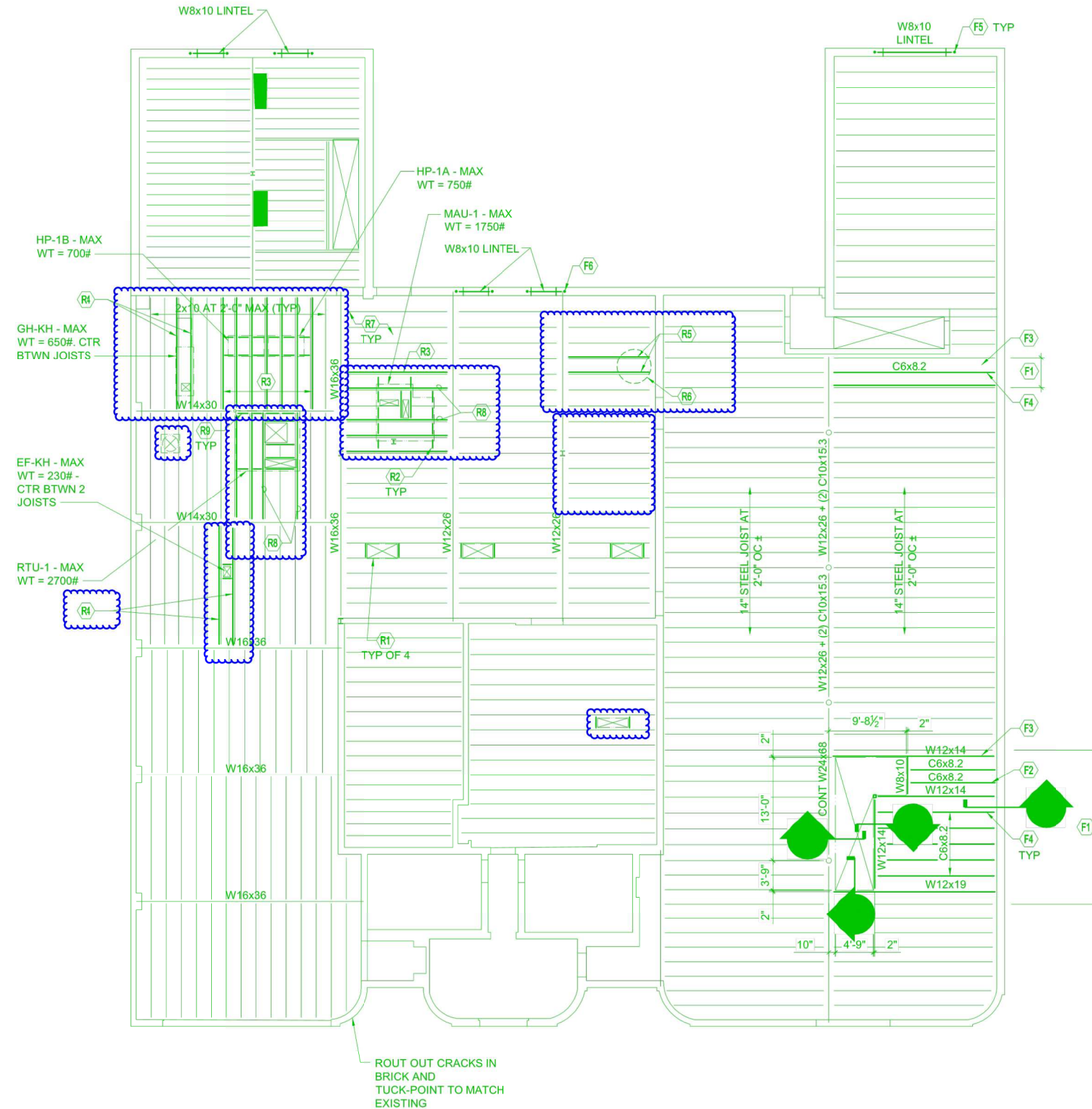
## FLOOR FRAMING KEY NOTES:

- F1. REMOVE ALL EXISTING FLOORING AND JOIST AS REQUIRED TO INSTALL NEW STAIR FRAMING. REUSE EXISTING FLOORING AS MUCH AS POSSIBLE. BRACE EXTERIOR WALL DURING DEMOLITION AND NEW CONSTRUCTION AS REQUIRED.
- F2. TO THE GREATEST EXTENT POSSIBLE, ALIGN NEW STEEL FRAMING WITH EXISTING FRAMING LOCATIONS. ENLARGE WALL POCKETS AS REQUIRED.
- F3. NEW FLOOR SHEATHING SHALL MATCH THE EXISTING SUB FLOOR THICKNESS ( $\frac{3}{4}$ " MIN). FLOOR SHEATHING SHALL BEAR HALFWAY ACROSS EXISTING MEMBERS TO REMAIN.
- F4. PROVIDE 2x4 CONT ON TOP OF EACH NEW STEEL MEMBER TO SUPPORT FLOOR SHEATHING.
- F5. #5 AT EACH NEW OPENING JAMB. EXTEND FROM FLOOR TO FLOOR OR ROOF ABOVE. GROUT CELLS CONTAINING REINFORCING SOLID.
- F6. #5 IN JAMBS BETWEEN NEW AND EXISTING WINDOW. BAR SHALL BE CONTINUOUS FROM 1ST FLOOR TO ROOF, PAST LINTEL BEARING. REFER TO NOTE F5.

## ROOF FRAMING KEY NOTES:

- R1. SKYLIGHT TO BE LOCATED BETWEEN EXISTING FRAMING MEMBERS.
- R2. 2x6 BLOCKING BETWEEN RAFTERS DIRECTLY UNDER UNIT CURB.
- R3. SISTER EACH EXISTING JOIST UNDER UNIT WITH (2) - 2x10.
- R4. ADD 2x10 EACH SIDE OF UNIT. COORDINATE CLEAR OPENINGS REQUIRED.
- R5. SISTER EXISTING DAMAGED RAFTER FULL LENGTH. PROVIDE NEW POCKET IN WALL TO RECEIVE NEW RAFTER.
- R6. REMOVE AND REPLACE EXISTING DAMAGED ROOF BOARDS WITH PLYWOOD OF THE SAME THICKNESS.
- R7. DO NOT CUT OR DAMAGE ANY ROOF FRAMING MEMBERS FOR NEW OPENINGS.
- R8. SISTER EACH EXISTING JOIST ON EACH SIDE OF ROOF MECH OPENING WITH (4) - 2x10'S.
- R9. 2x10 HEADER TYPICAL.

NOTE: ALL SISTERED MEMBERS SHALL BE THE FULL LENGTH OF THE ORIGINAL MEMBER



ROUT OUT CRACKS IN BRICK AND TUCK-POINT TO MATCH EXISTING



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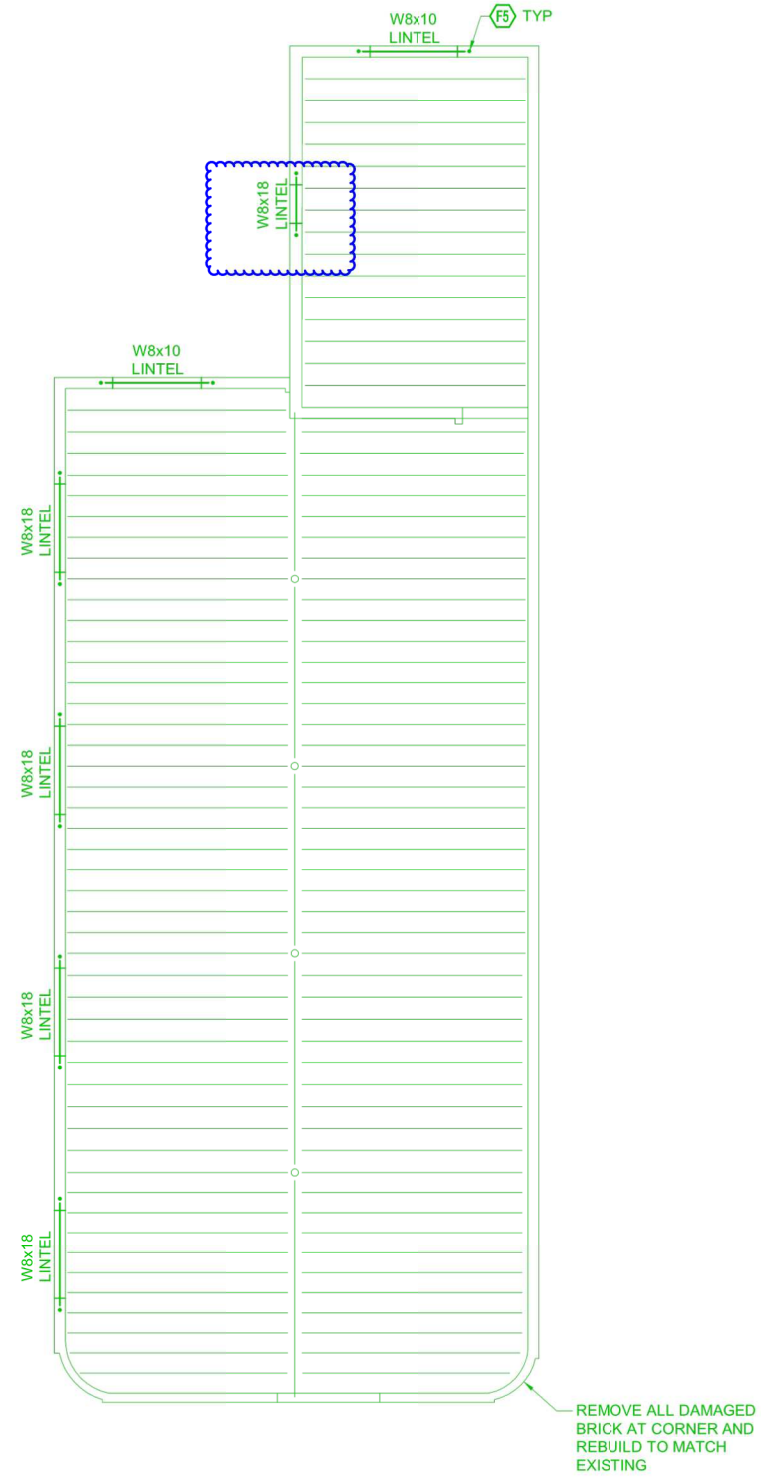
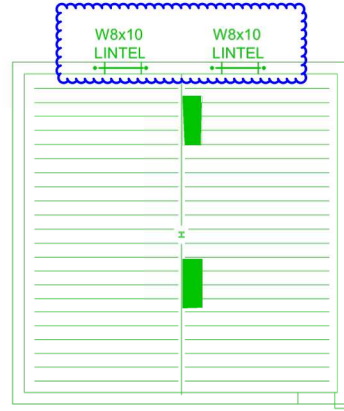
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## SECOND FLOOR FRAMING PLAN

# S1.2



ROOF FRAMING PLAN 1  
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ROOF FRAMING PLAN

S1.3

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