

# COMFORT ZONE CAMP TENANT RENOVATION

6606 WEST BROAD STREET  
RICHMOND, VA

## ABBREVIATIONS

•	AT	L.F.	LINEAR FOOT
A.F.F.	ABOVE FINISHED FLOOR	LVT	LUXURY VINYL TILE
ALUM.	ALUMINUM	MECH.	MECHANICAL
APPROX.	APPROXIMATE	MIN.	MINIMUM
A.G.T.	ACOUSTICAL TILE CEILING	M.O.	MASONRY OPENING
		MTL.	METAL
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BLDG.	BUILDING	O.C.	ON CENTER
BLK.	BLOCK	OPNG.	OPENING
BRG.	BEARING	OPF.	OPPOSITE
		O.T.A.	OPEN TO ABOVE
		O.T.S.	OPEN TO STRUCTURE
C.F.	CUBIC FOOT	P	PAINT
CLS.	CELLING	PT	PORCELAIN TILE
C.M.U.	CONCRETE MASONRY UNIT	PL	PLASTIC LAMINATE
COL.	COLUMN	PLYND.	PLYWOOD
CONC.	CONCRETE	PREFIN.	PREFINISHED
CONST.	CONSTRUCTION	PTD.	PAINTED
CONT.	CONTINUOUS	REF.	REFERENCE
CPT.	CARPET	REINF.	REINFORCEMENT
C.T.	CERAMIC TILE	REQ.	REQUIRED
		RM.	ROOM
DIA.	DIAMETER	R.T.U.	ROOF TOP UNIT
DN.	DOWN	S.F.	SQUARE FOOT
DS.	DOWNSPOUT	SHT.	SHEET
DTL.	DETAIL	SM.	SIMILAR
DRWS.	DRAWINGS	S.C.	SOLID CORE
		SQ.	SQUARE
EA.	EACH	S.S.	STAINLESS STEEL
EF.	EXHAUST FAN	STD.	STANDARD
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	STL.	STEEL
E.J.	EXPANSION JOINT	STRUC.	STRUCTURE
ELEC.	ELECTRIC	SUSP.	SUSPENDED
E.W.C.	ELECTRIC WATER COOLER	TRTD.	TREATED
ELEV.	ELEVATION	TYP.	TYPICAL
EQUIP.	EQUIPMENT	U.O.N.	UNLESS OTHERWISE NOTED
EXIST.	EXISTING	VB	VINYL BASE
ETR.	EXISTING TO REMAIN	VCT	VINYL COMPOSITION TILE
EXP.	EXPANSION	VERT.	VERTICAL
EXT.	EXTERIOR	V.I.F.	VERIFY IN FIELD
		V.T.R.	VENT THROUGH ROOF
FC.	FIRE EXTINGUISHER CABINET	W/	WITH
F.D.	FLOOR DRAIN	MC	METAL COVERING
FIN.	FINISH	MH.	METAL HOLLOW METAL
FLR.	FLOOR	HT.	HEIGHT
		INSUL.	INSULATION
GA.	GAUGE	JT.	JOINT
GPB.	GYPSON MALL BOARD		
GYP.	GYPSON		
HDV.	HARDWARE		
HG.	HANDICAPPED		
HORIZ.	HORIZONTAL		
H.M.	HOLLOW METAL		
HT.	HEIGHT		
INSUL.	INSULATION		
JT.	JOINT		

## BUILDING CODE DATA

ALL WORK SHALL BE IN ACCORDANCE WITH 2012 INTERNATIONAL BUILDING CODE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (2012 EDITION VUSBC) AND AIA A201 GENERAL CONDITIONS (LATEST EDITION).

EXISTING BUILDING: IIB  
CONSTRUCTION TYPE: (B) - BUSINESS  
USE GROUP: FULLY SPRINKLERED  
FIRE PROTECTION:

NEW WORK:  
AREA: 3,551 SQUARE FEET

PROJECT SYNOPSIS:  
NEW TENANT RENOVATION

## CONTACT INFORMATION

EVOLVE ARCHITECTURE,  
JAYA EASLEY  
JAYA@EVOLVEARCHITECTURE.COM

CLIENT REPRESENTATIVE:  
MARY BETH MCINTIRE  
MCMCINTIRE@COMFORTZONECAMP.ORG

BUILDING REPRESENTATIVE:  
GLEN NICHOLAS  
GLEN.NICHOLAS@SSCCOOP.COM

CONTRACTOR:  
T.B.D.

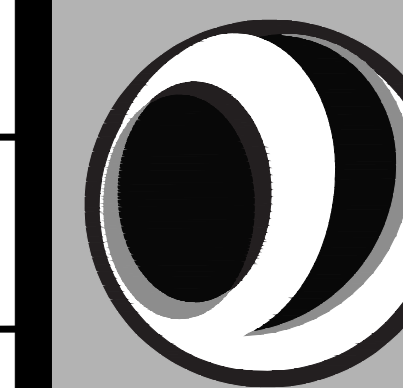
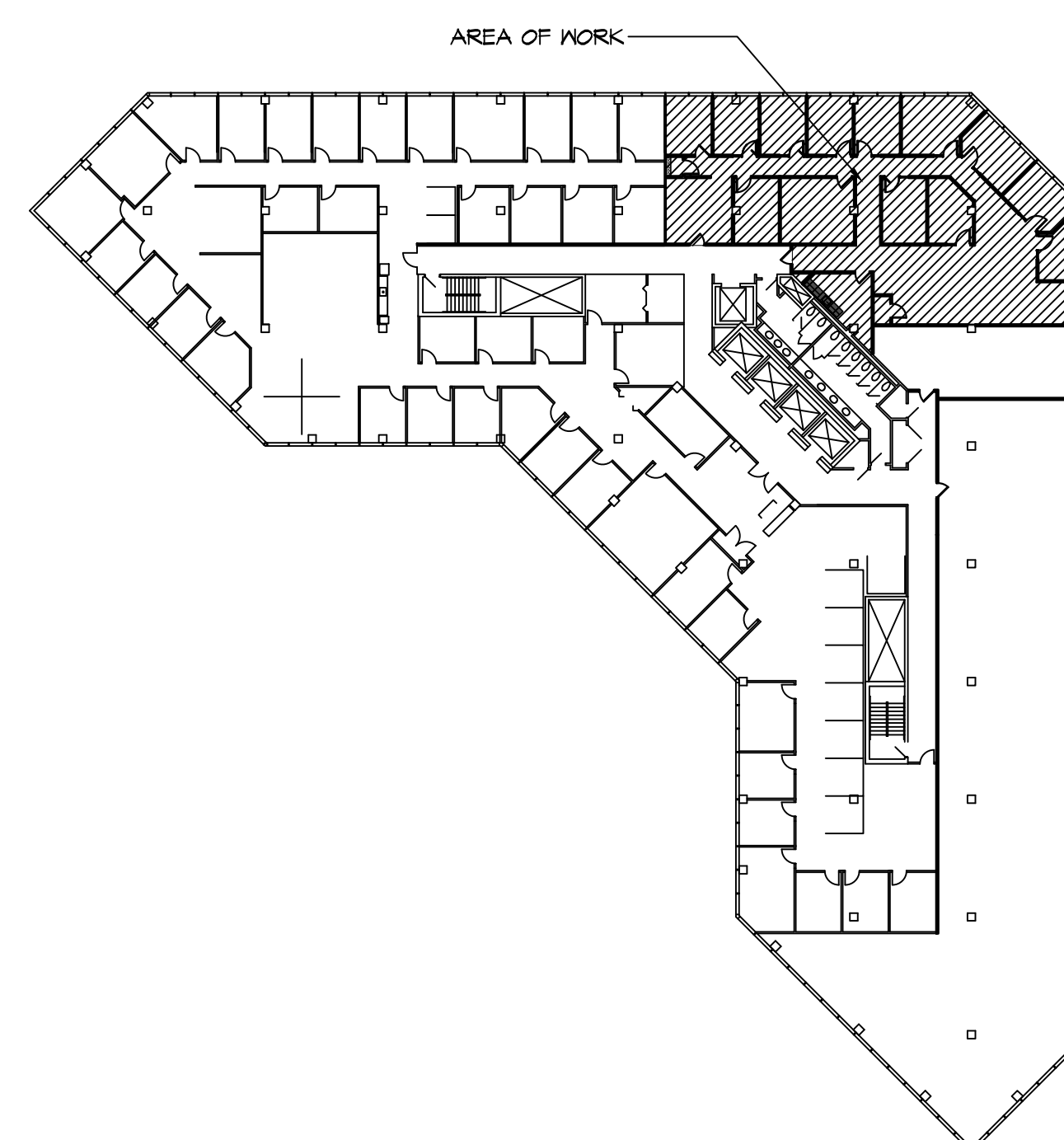
## INDEX OF DRAWINGS

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		NUMBER	DATE
ARCHITECTURAL			
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A1.2	WALL AND DOOR TYPES, DETAILS		
A2.1	REFLECTED CEILING AND POWER, VOICE, AND DATA PLANS		
A3.1	FINISH PLAN, ELEVATION AND SECTIONS		

## LOCATION MAP

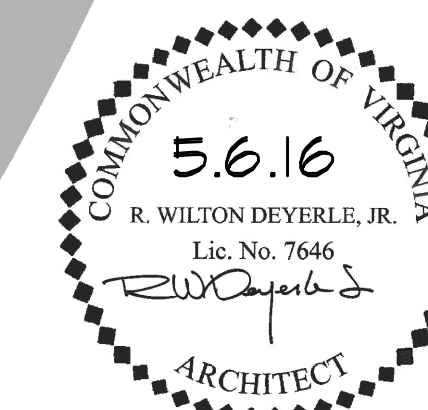


## KEY PLAN



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DRAWING ISSUE: PERMIT SET  
DATE: 5.6.2016

JOB NUMBER: 5929  
DRAWN BY: JCE  
CHECKED BY: RWD  
COVER SHEET

SHEET NUMBER:  
**GI.1**



GENERAL CONDITIONS:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH 2012 INTERNATIONAL BUILDING CODE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (2012 EDITION VSBEC) AND AIA A201 GENERAL CONDITIONS (LATEST EDITION).

COORDINATION OF WORK:

- 1. COORDINATE THE WORK OF ALL TRADES.
2. PREPARE COORDINATION DRAWINGS FOR AREAS ABOVE CEILINGS WHERE CLOSE TOLERANCES ARE REQUIRED BETWEEN BUILDING ELEMENTS AND MECHANICAL AND ELECTRICAL WORK.

FIELD COORDINATION:

- 1. VERIFY AND LOCATE UTILITIES, EXISTING FACILITIES, AND EQUIPMENT.
2. SURVEY AND LAYOUT ALL IMPROVEMENTS, UTILITIES, STRUCTURES, AND MISCELLANEOUS COMPONENTS.

SUBMITTALS:

- 1. WITHIN FIVE DAYS OF THE AWARD OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A SCHEDULE SHOWING THE SEQUENCE IN WHICH THE CONTRACTOR PROPOSES TO CARRY OUT THE WORK.
2. WHERE REQUIRED ELSEWHERE IN THESE DOCUMENTS, OR AS DIRECTED BY THE ARCHITECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES OF ALL MATERIALS AND GOODS TO BE INCORPORATED IN THE WORK.

QUALITY ASSURANCES:

- 1. SHALL COMPLY WITH APPLICABLE CODES, REGULATIONS, ORDINANCES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, INCLUDING ACCESSIBILITY GUIDELINES WHERE APPLICABLE.
2. SHALL PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS.

PROJECT MEETINGS:

- 1. ARRANGE FOR A PRE-CONSTRUCTION CONFERENCE PRIOR TO START OF CONSTRUCTION. MEETINGS SHALL BE ATTENDED BY ARCHITECT, CONTRACTOR, AND MAJOR SUBCONTRACTORS.

PROJECT CLOSEOUT:

- 1. PREPARE A PUNCHLIST OF ALL WORK REMAINING TO BE COMPLETED FOR REVIEW BY THE ARCHITECT.
2. COMPLETE PUNCHLIST ITEMS PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER.

GENERAL CONSTRUCTION NOTES:

- 1. ALL PENETRATIONS THROUGH FLOOR SLABS SUCH AS PIPING, CONDUITS, DUCTS, PNEUMATIC TUBES, ETC. SHALL BE FACED AND SEALED WITH APPROPRIATE FINISHED MATERIAL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ADEQUATE SHORING AND BRACING REQUIRED FOR THE PROPER EXECUTION OF ALL WORK.

CUTTING & PATCHING:

- 1. SHALL PROVIDE CUTTINGS AND PATCHING WORK TO PROPERLY COMPLETE THE PROJECT.
2. SHALL NOT REMOVE OR ALTER STRUCTURAL COMPONENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT.

GENERAL FINISH NOTES:

- 1. ALL FINISHES AND MATERIALS SHALL BE AS INDICATED IN THE DOCUMENTS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
2. SURFACES TO RECEIVE FINISH WORK SHALL BE PREPARED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

GENERAL GYPSUM WALLBOARD NOTES:

- 1. ALL VERTICAL AND HORIZONTAL EXTERNAL CORNERS OF GYPSUM BOARD SHALL HAVE CORNER REINFORCEMENTS PROVIDED.
2. ALL JOINTS, SCREWS OR OTHER DEPRESSIONS IN SURFACE OF GYPSUM WALLBOARD SHALL BE TREATED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

GENERAL PARTITION NOTES:

- 1. REFERENCE STANDARDS
A. AISI S602-H - NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS
B. ASTM A 683/A 683M - STANDARD SPECIFICATION FOR STEEL SHEET, ZINC-COATED (GALVANIZED) OR ZINC-IRON ALLOY-COATED (GALVANEALD) BY THE HOT-DIP PROCESS

GENERAL MILLWORK & CASEWORK NOTES:

- 1. SUBMIT SHOP DRAWINGS FOR ALL CABINERY AND MILLWORK TO ARCHITECT FOR REVIEW/APPROVAL PRIOR TO FABRICATION.
2. CASEWORK CONSTRUCTION AS INDICATED IN THE DOCUMENTS SHALL BE IN ACCORDANCE WITH A.N.I. QUALITY STANDARDS FOR FLUSH OVERLAY CONSTRUCTION.
3. ALL CASEWORK SHALL BE SHOP ASSEMBLED.

GENERAL MECHANICAL NOTES:

- 1. GENERAL CONTRACTOR TO PROVIDE SEALED ENGINEERING DRAWINGS FOR MECHANICAL AND PLUMBING MODIFICATIONS FROM SUBCONTRACTORS.
2. THERMOSTAT LOCATIONS TO BE APPROVED BY ARCHITECT BEFORE INSTALLATION.

GENERAL SPRINKLER/FIRE SUPPRESSION NOTES:

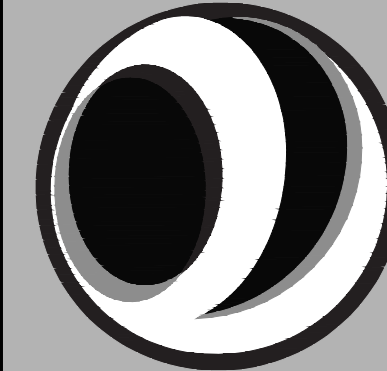
- 1. GENERAL CONTRACTOR TO PROVIDE DESIGN/BUILD SERVICES FOR SPRINKLER, FIRE ALARM, AND SPECIAL FIRE SUPPRESSION WORK REQUIRED TO SATISFY GOVERNING AGENCY REQUIREMENTS.
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES HAVING JURISDICTION.

- 1. GENERAL CONTRACTOR TO PROVIDE SEALED ENGINEERING DRAWINGS FOR ELECTRICAL MODIFICATIONS FROM SUBCONTRACTOR(S).
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES HAVING JURISDICTION.



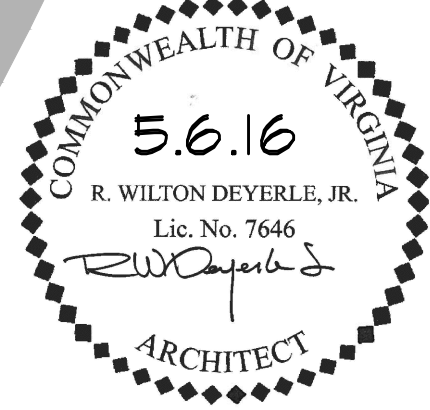
FOURTH FLOOR

6606 WEST BROAD STREET RICHMOND, VA



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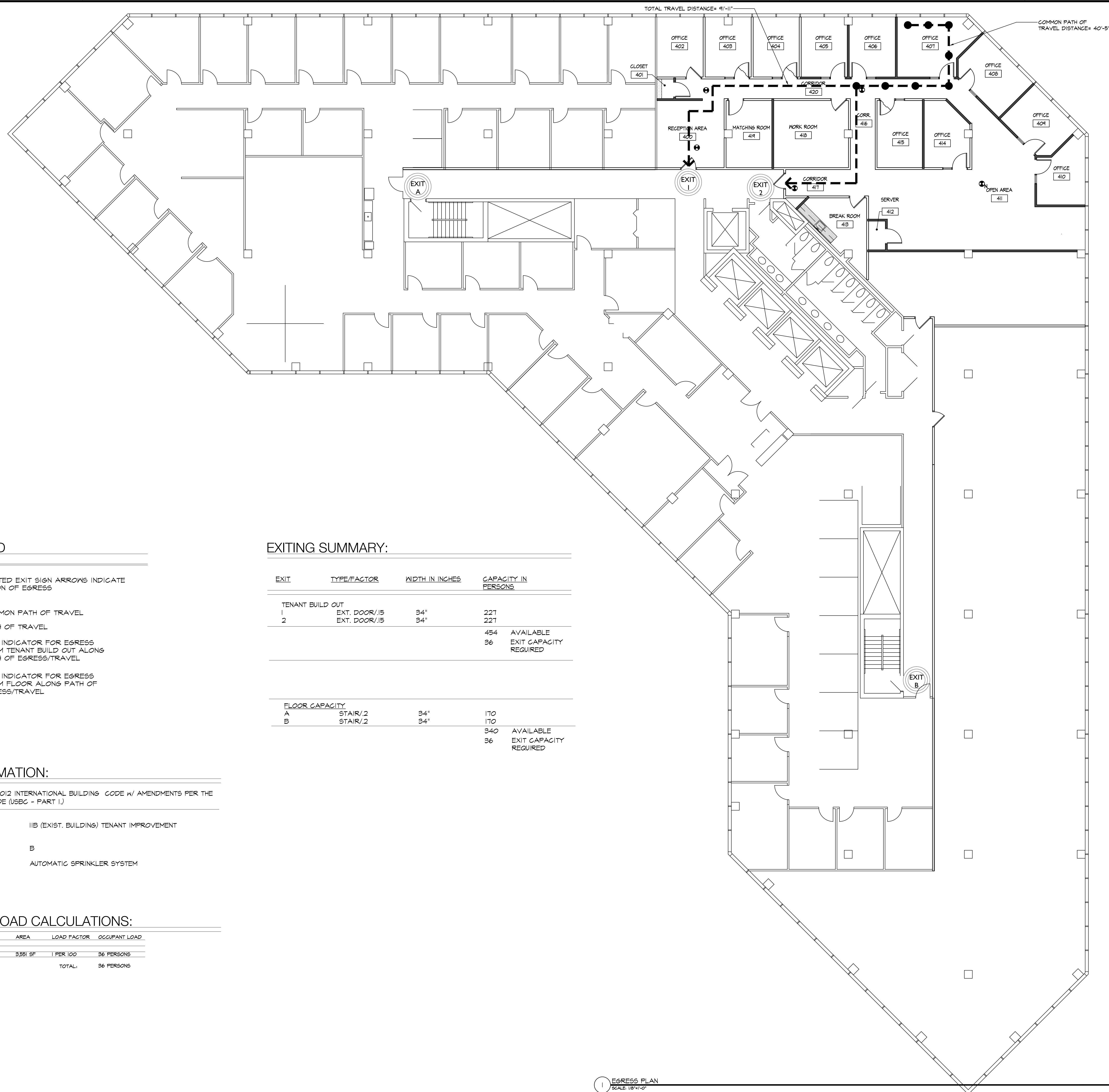
JOB NUMBER: 5929 DRAWN BY: JCE CHECKED BY: RWD

GENERAL CONDITIONS

SHEET NUMBER:

GI.2





TOTAL TRAVEL DISTANCE= 41'-11"

COMMON PATH OF TRAVEL DISTANCE= 40'-5"

**PLAN LEGEND**

- ILLUMINATED EXIT SIGN ARROWS INDICATE DIRECTION OF EGRESS
- COMMON PATH OF TRAVEL
- PATH OF TRAVEL
- EXIT I  
EXIT INDICATOR FOR EGRESS FROM TENANT BUILD OUT ALONG PATH OF EGRESS/TRAVEL
- EXIT A  
EXIT INDICATOR FOR EGRESS FROM FLOOR ALONG PATH OF EGRESS/TRAVEL

**EXITING SUMMARY:**

EXIT	TYPE/FACTOR	WIDTH IN INCHES	CAPACITY IN PERSONS	
<b>TENANT BUILD OUT</b>				
1	EXT. DOOR/15	34"	227	
2	EXT. DOOR/15	34"	227	
			454	AVAILABLE
			36	EXIT CAPACITY REQUIRED
<b>FLOOR CAPACITY</b>				
A	STAIR/2	34"	170	
B	STAIR/2	34"	170	
			340	AVAILABLE
			36	EXIT CAPACITY REQUIRED

**CODE INFORMATION:**

APPLICABLE CODE: 2012 INTERNATIONAL BUILDING CODE w/ AMENDMENTS PER THE VA. CONSTRUCTION CODE (USBC - PART I)

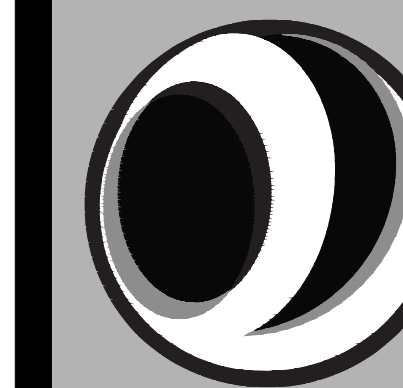
EXISTING BUILDING CONSTRUCTION TYPE: IIB (EXIST. BUILDING) TENANT IMPROVEMENT

USE GROUP CLASSIFICATION: B

FIRE PROTECTION: AUTOMATIC SPRINKLER SYSTEM

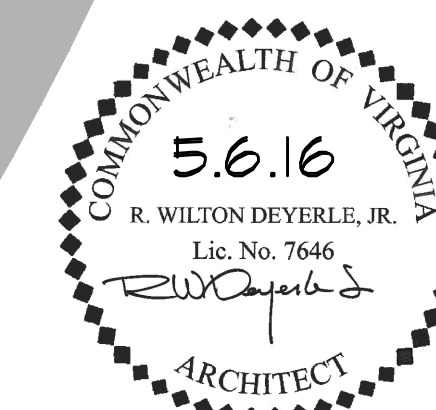
**OCCUPANT LOAD CALCULATIONS:**

SPACE	AREA	LOAD FACTOR	OCCUPANT LOAD
TOTAL AREA OF WORK BUSINESS OCCUPANCY	3,591 SF	1 PER 100	36 PERSONS
TOTAL:			36 PERSONS



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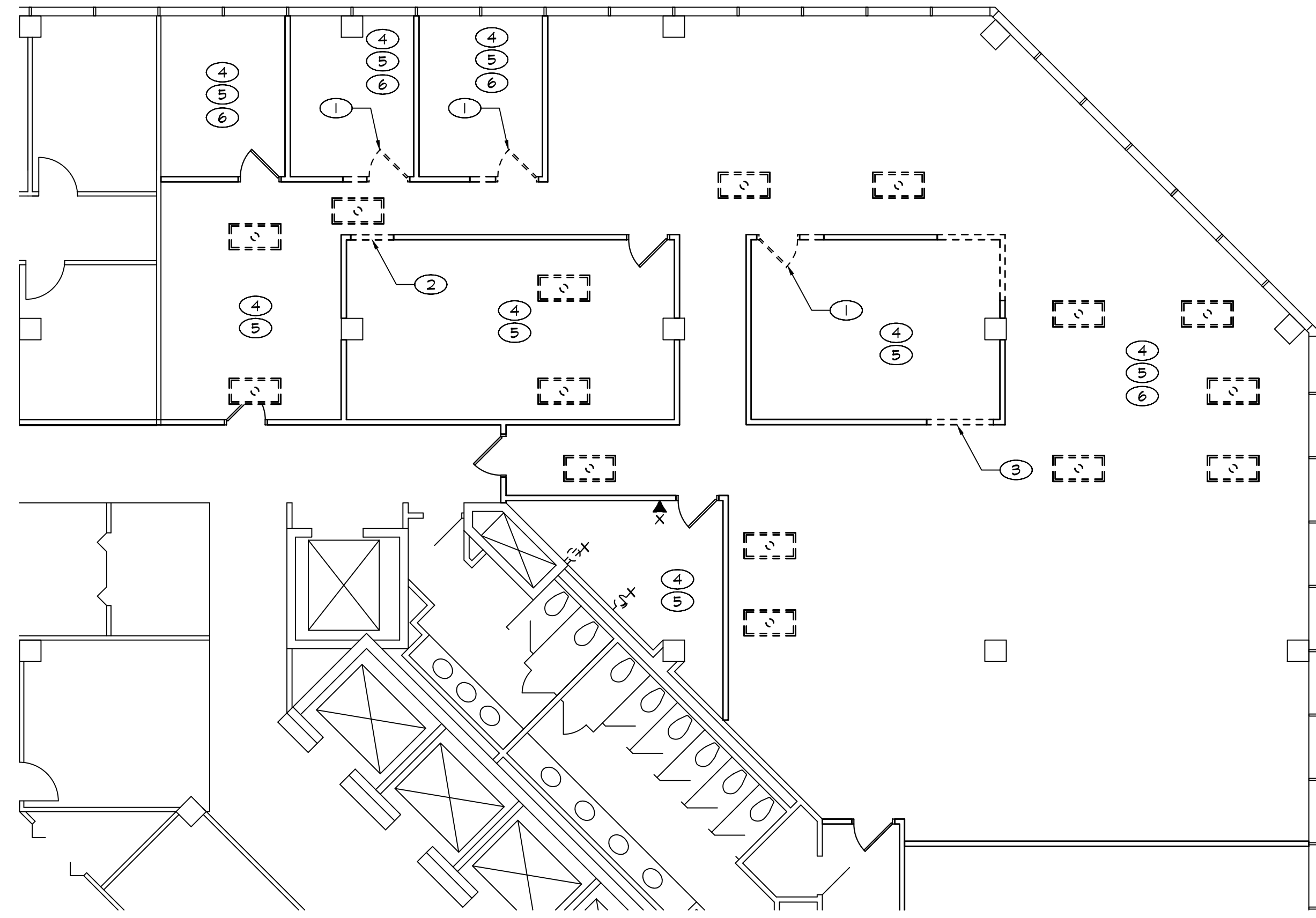
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EGRESS PLAN

SHEET NUMBER:

**G1.3**





1 DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

### DEMOLITION LEGEND

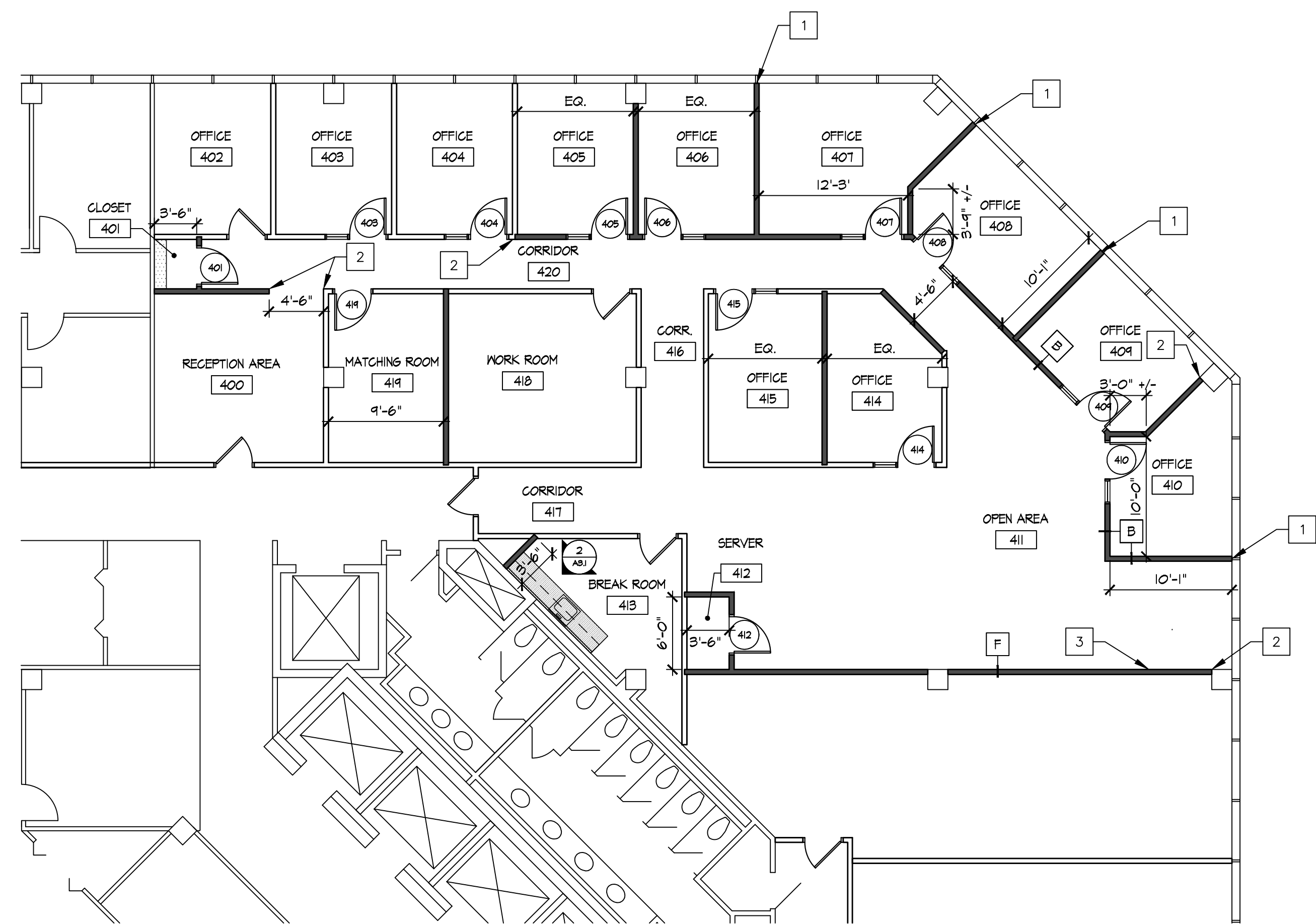
SYMBOL	DESCRIPTION
————	EXISTING WALLS TO REMAIN
-----	EXISTING WALLS TO BE REMOVED
∠	EXISTING DOOR TO BE REMOVED
∠	EXISTING DOOR TO REMAIN
⊕x	DUPLEX RECEPTACLE TO BE REMOVED
◀x	DATA RECEPTACLE TO BE REMOVED
⊕x	WALL JUNCTION BOX TO BE REMOVED
⋈x	WALL SWITCH TO BE REMOVED
☒	EXISTING 2x4 FLUORESCENT FIXTURE TO BE REMOVED

### DEMOLITION KEY NOTES

- ① DEMO EXISTING DOOR AND FRAME, SALVAGE DOOR FOR RE-USE.
- ② DEMO PORTION OF WALL TO ACCOMMODATE BUILDING STANDARD DOOR AND FRAME.
- ③ DEMO PORTION OF WALL TO ACCOMMODATE BUILDING STANDARD DOOR AND FRAME WITH ATTACHED SIDELIGHT, REFER TO DOOR ELEVATION "B" ON 2/AI.2.
- ④ DEMO CARPET AND VGT THROUGHOUT.
- ⑤ EXISTING CEILING AND GRID TO REMAIN.
- ⑥ EXISTING WINDOW BLINDS TO REMAIN.

### DEMOLITION NOTES

- REMOVE AND DISPOSE OF ALL EXISTING FINISHES UNLESS OTHERWISE NOTED. UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME THE CONTRACTOR'S PROPERTY.
- PATCH AND REPAIR ALL SURFACES AS REQUIRED TO ACCEPT NEW FINISHES.
- PATCH AND REPAIR FLOOR SUBSTRATE AS REQUIRED FOR INSTALLATION OF NEW FINISHES.
- OWNER TO DETERMINE WHICH ITEMS ARE TO BE SALVAGED OR SAVED, AND WHAT ITEMS ARE TO BE REMOVED FROM SITE.
- MAINTAIN AND PROTECT EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION, PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
- CAP ALL PLUMBING LINES IN WALLS OR BELOW FLOORS WHERE FIXTURES ARE REMOVED OR RELOCATED, AND PREP SURFACES AS REQUIRED TO RECEIVE NEW FINISHES.
- FIELD VERIFY EXISTING CONDITIONS/LOCATIONS OF WALLS TO BE DISTURBED PRIOR TO REMOVAL.
- COMPLY WITH EPA REGULATIONS AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- REMOVE ALL ELECTRICAL, TELEPHONE AND DATA OUTLETS AND RUN WIRES BACK TO SOURCE FOR ANY EXISTING OUTLETS NOT INDICATED ON POWER, VOICE AND DATA PLAN. CAP, PATCH AND PREPARE TO ACCEPT NEW FINISHES.
- ALL EXISTING STRUCTURAL MEMBERS TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED. WHEN APPLICABLE, PROTECT EXISTING SPRAY APPLIED FIREPROOFING ON EXISTING STRUCTURAL STEEL. PATCH & REPAIR ANY DAMAGED DURING DEMOLITION.
- PROVIDE A PORTABLE FIRE EXTINGUISHER ON SITE AT ALL TIMES.
- WHEN APPLICABLE, PROTECT EXISTING SPRINKLER SYSTEM PIPING DURING DEMOLITION.
- COORDINATE WITH BUILDING MANAGER REGARDING SMOKE DETECTION SYSTEM PROTECTION DURING DEMOLITION AND CONSTRUCTION.
- REFERENCE DESIGN BUILD DRAWINGS FOR SCOPE OF MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION.



2 PARTITION PLAN  
SCALE: 1/8"=1'-0"

### PLAN LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
————	EXISTING PARTITION TO REMAIN		SECTION
————	NEW PARTITION		DETAIL
[302]	ROOM DESIGNATION		DETAIL
①	DOOR DESIGNATION		ELEVATION
∠	EXISTING DOOR TO REMAIN		REVISION
∠	NEW DOOR		WALL TYPE
----	NEW CASEWORK		

### PARTITION TYPES

- NOTE: ALL PARTITIONS SHALL BE TYPE 'A' UNLESS NOTED OTHERWISE
- A) 3/8" 25 GA. MTL. STUDS AT 16" O.C. WITH 3/8" 6#B EACH SIDE TO UNDERSIDE OF ACT. CEILING. SEE DETAIL SHEET AI.2.
  - B) 3/8" 25 GA. MTL. STUDS AT 24" O.C. WITH 3/8" 6#B EACH SIDE TO UNDERSIDE OF ACT. CEILING WITH 3/2" BATT INSULATION IN PARTITION. SEE DETAIL SHEET AI.2.
  - F) 3/8" 25 GA. MTL. STUDS AT 24" O.C. WITH 3/8" 6#B EACH SIDE EXTEND TO DECK WITH 3/2" BATT INSULATION IN PARTITION. SEE DETAIL SHEET AI.2.
- GAUGE OF STUDS LISTED HERE IS FOR GUIDANCE ONLY. CONTRACTOR SHALL CONFIRM GAUGE AND SPACING WITH METAL STUD MANUFACTURER AND CRITERIA LISTED IN GENERAL PARTITION NOTES ON 6I.2.

### PARTITION PLAN KEY NOTES

- CENTER NEW PARTITION WITH CENTER OF MULLION. REFER TO DETAIL 4/AI.2.
- ALIGN NEW PARTITION WITH EXISTING CONDITION AS SHOWN.
- PROVIDE BLOCKING IN WALL TO ACCOMMODATE TENANT PROVIDED FLAT SCREEN TV. REFER TO DETAIL 6/AI.2. COORDINATE EXACT LOCATION WITH COMFORT ZONE.

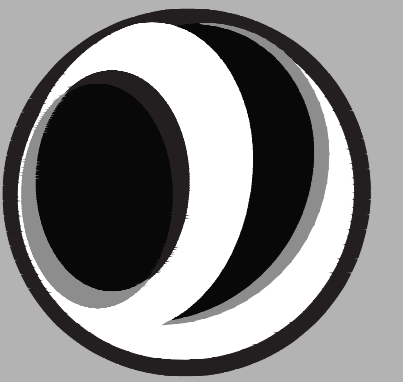
### PARTITION GENERAL NOTES

- PATCH ALL AREAS DISTURBED BY DEMOLITION CONSTRUCTION. PREPARE SURFACES TO RECEIVE NEW FINISHES.
- PROVIDE FIRE RATED BLOCKING FOR ALL WALL MOUNTED ITEMS.
- NEW CASEWORK SHOWN AS SHADED. ALL CASEWORK SHALL HAVE BRUSHED CHROME WIRE PULLS U.O.N. AND HEAVY DUTY HIDDEN HINGES. DRAWERS SHALL HAVE HEAVY DUTY DRAWER SUSPENSION ON SILENT GLIDES U.O.N. SEE DETAILS FOR ANY SPECIAL HARDWARE REQUIREMENTS.
- PROVIDE SUPPLEMENTAL FRAMING, INSULATION, AND FINISH MATERIALS AS REQUIRED TO MAINTAIN PARTITION TYPE FIRE RESISTANT RATING.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING PENETRATIONS SHALL COMPLY WITH ASTM E814, FIRE-STOPPING DETAILS PER CURRENT CODE.
- PROVIDE ROD AND SHELF IN ALL CLOSETS UNLESS OTHERWISE NOTED. SEE DETAIL 5/AI.2.
- SEE DETAIL 5/AI.2 FOR TYPICAL DOOR PLACEMENT.
- MILLWORK CONTRACTOR TO VERIFY IN FIELD, ALL AREAS TO RECEIVE MILLWORK PRIOR TO BUILDING - SHOP DRAWINGS ARE TO BE PROVIDED TO ARCHITECT FOR APPROVAL.
- CONTRACTOR TO VERIFY AND COORDINATE DOOR FRAME THICKNESS WITH WALL THICKNESS.
- VERIFY THAT THERE ARE BUILDING STANDARD BLINDS ON ALL WINDOWS IF PROVIDED BY BUILDING OWNER AS A STANDARD. PROVIDE NEW AS NEEDED TO MATCH BUILDING STANDARD. IF MISSING AND ARE PROVIDED AS BUILDING STANDARD, IF PROVIDED CLEAN AL EXISTING TO REMAIN.



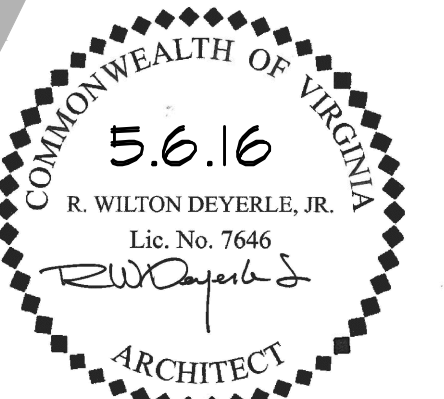
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DEMOLITION AND  
PARTITION PLANS

SHEET NUMBER:

AI.1



**DOOR NOTES**

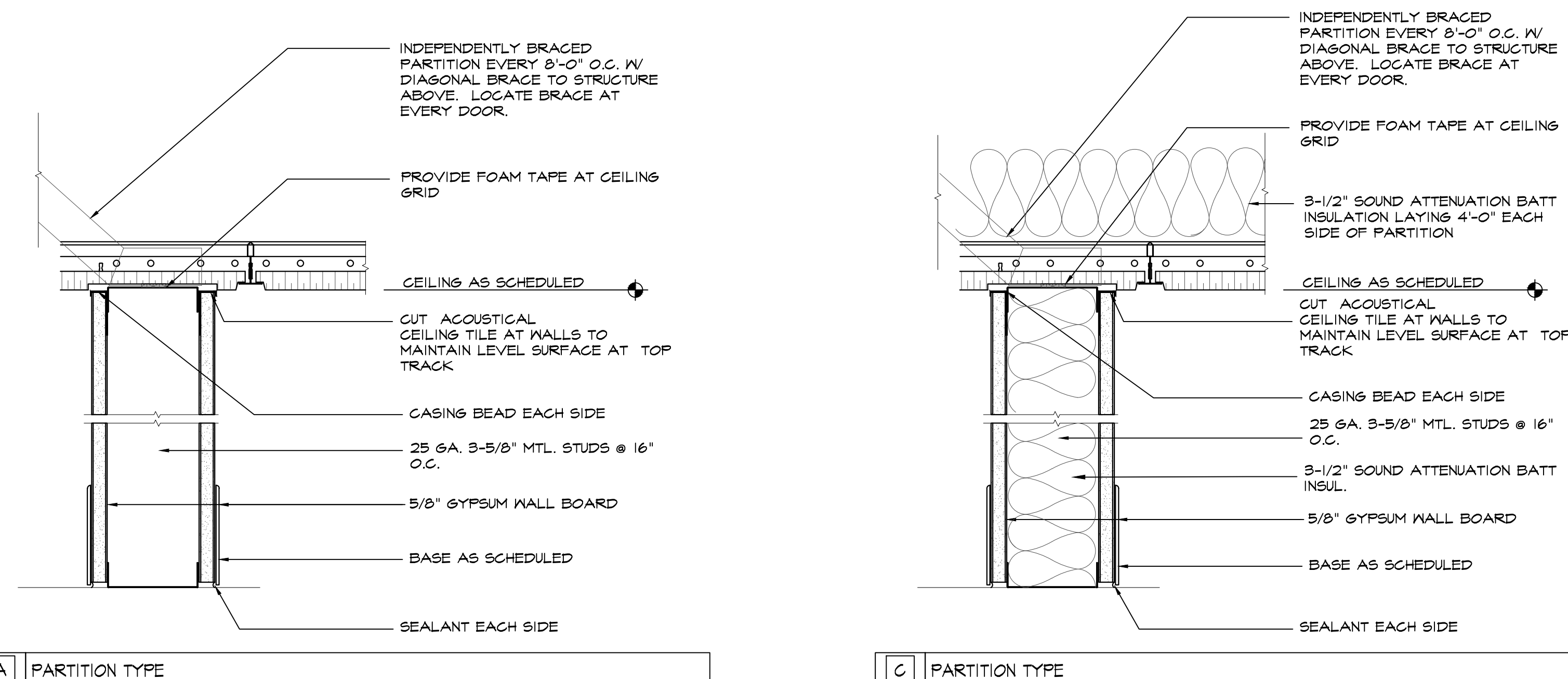
- UNLESS NOTED OTHERWISE DOORS SHALL BE BUILDING STANDARD.
- HARDWARE SHALL MATCH BUILDING STANDARD.
- CONTRACTOR TO EVALUATE ALL EXISTING DOORS TO REMAIN, AND REPAIR OR REPLACE AS NEEDED.
- COORDINATE KEYING WITH TENANT AND BUILDING MANAGEMENT.
- INSTALL BUILDING STANDARD WALL OR FLOOR STOPS AT DOOR LOCATIONS.
- FRAMES SHALL BE 2" HOLLOW METAL OR ALUMINUM, TO MATCH EXISTING. FRAME SHALL BE SIZED AS REQUIRED, NEED TO COORDINATE TO ACCOMMODATE DOOR HEIGHT AND WIDTH AND PARTITION THICKNESS.
- CONTRACTOR TO PAINT FRAMES OF EXISTING DOORS TO REMAIN TO MATCH NEW FRAMES PAINT AS SCHEDULED.
- REFER TO DOOR DETAIL 3(A) FOR PLACEMENT AND CONSTRUCTION OF DOORWAYS.
- PROVIDE BUILDING STANDARD GOAT HOOK ON BACKSIDE OF ALL OFFICE DOORS. HOOK FINISH TO MATCH DOOR HARDWARE.
- ALL DOORS TO HAVE A MAX. 1/8" CLEARANCE AT TOP & SIDES, UNDERCUT ALL DOORS 5/8" AFF. COMPLETELY SEAL TOP & BOTTOM OF ALL DOORS WITH FINISH.
- ALL GLASS PANES WITHIN FRAME SHOULD BE BUTT GLAZED WITH A CLEAR SILICONE JOINT UNLESS OTHERWISE SPECIFIED OR SHOWN TO HAVE A HOLLOW METAL FRAME OR ALUMINUM FRAME SEPARATING PANELS.

**DOOR HARDWARE**

ALL HARDWARE TO BE BUILDING STANDARD

- PASSAGE LATCH SET
- STORAGE LOCK SET
- OFFICE LOCK SET

LOCK SETS SHALL BE VERIFIED AND MATCHED TO BUILDING STANDARD (CYLINDRICAL OR MORTISE) LEVER LOCK SET KEYED TO BUILDING GRAND MASTER KEY. COORDINATE KEYING WITH ARCHITECT, TENANT AND BUILDING MANAGEMENT.



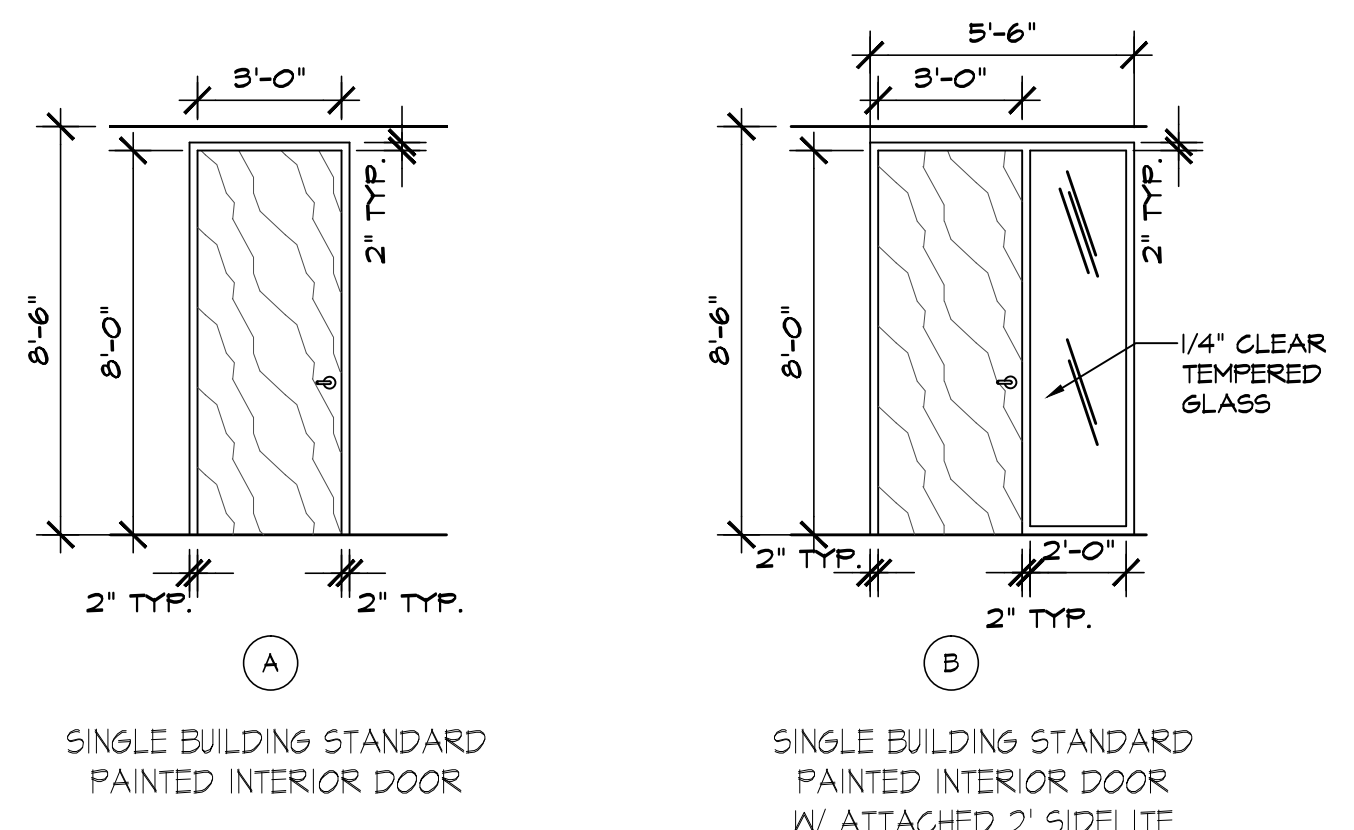
**A** PARTITION TYPE

**C** PARTITION TYPE

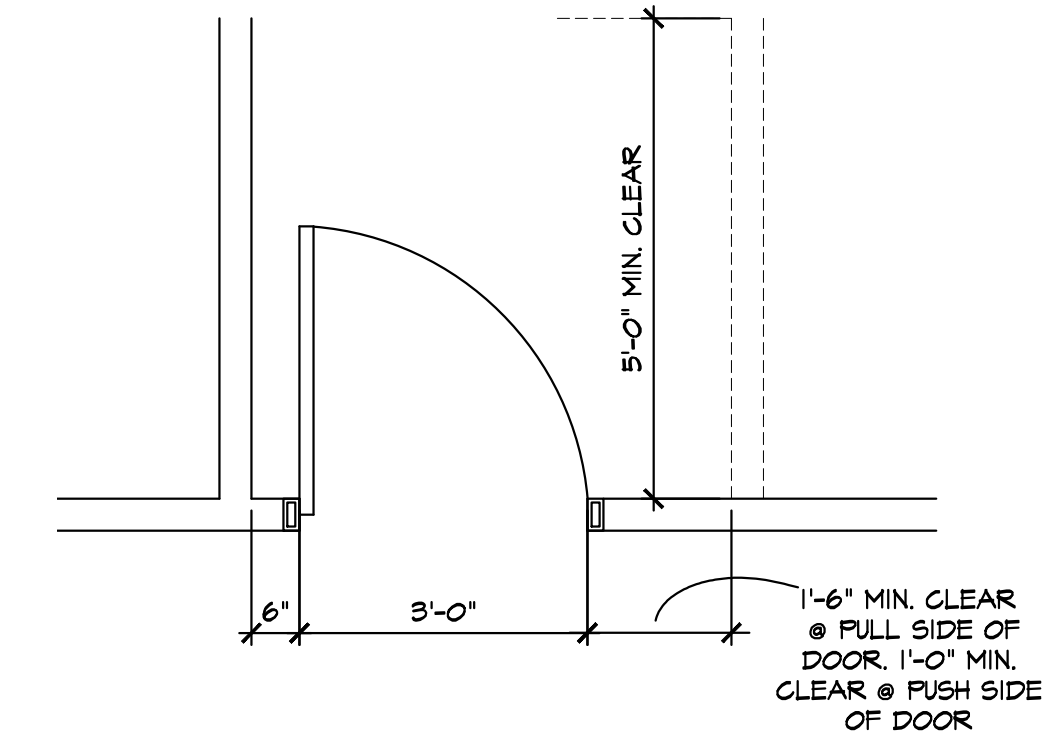
**1** WALL TYPES  
SCALE: 3/4"=1'-0"

MARK	DOOR				FRAME	FIRE RATING LABEL	HOW	NOTES	
	WD	HGT	THK	EL					
401	3'-0"	8'-0"	1 3/4"	A	MD	HM	--	10	-
403	3'-0"	7'-0"	1 3/4"	B	MD	HM	--	10	RE-USE DOOR FROM DEMO
404	3'-0"	7'-0"	1 3/4"	B	MD	HM	--	10	RE-USE DOOR FROM DEMO
405	3'-0"	8'-0"	1 3/4"	B	MD	HM	--	10	-
406	3'-0"	8'-0"	1 3/4"	B	MD	HM	--	10	-
407	3'-0"	8'-0"	1 3/4"	B	MD	HM	--	10	-
408	3'-0"	8'-0"	1 3/4"	B	MD	HM	--	40	-
409	3'-0"	8'-0"	1 3/4"	B	MD	HM	--	10	-
410	3'-0"	8'-0"	1 3/4"	B	MD	HM	--	10	-
412	3'-0"	8'-0"	1 3/4"	A	MD	HM	--	20	-
414	3'-0"	8'-0"	1 3/4"	B	MD	HM	--	10	-
415	3'-0"	7'-0"	1 3/4"	B	MD	HM	--	10	RE-USE DOOR FROM DEMO
419	3'-0"	8'-0"	1 3/4"	A	MD	HM	--	10	-

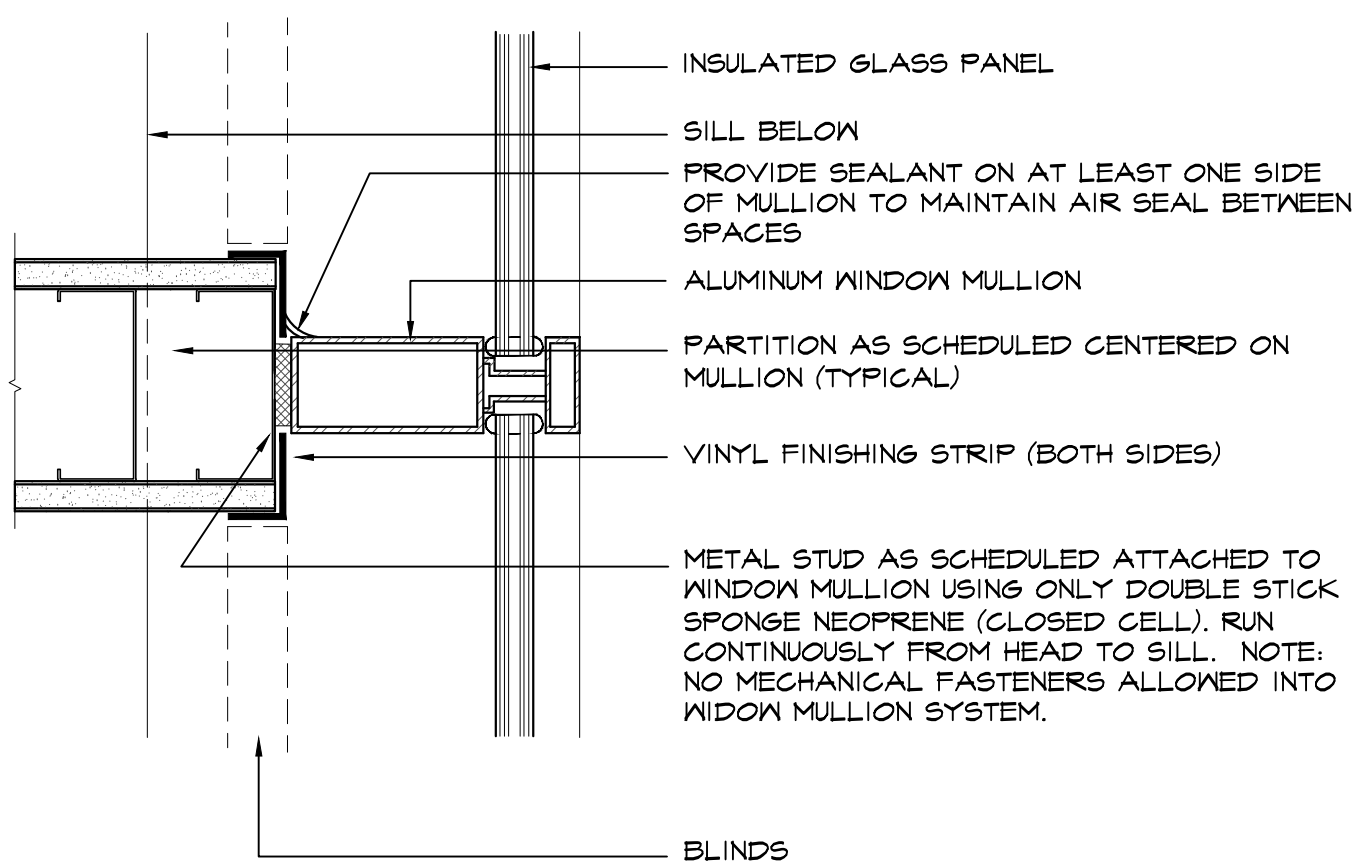
USE DOORS FROM OWNER'S ATTIC STOCK.



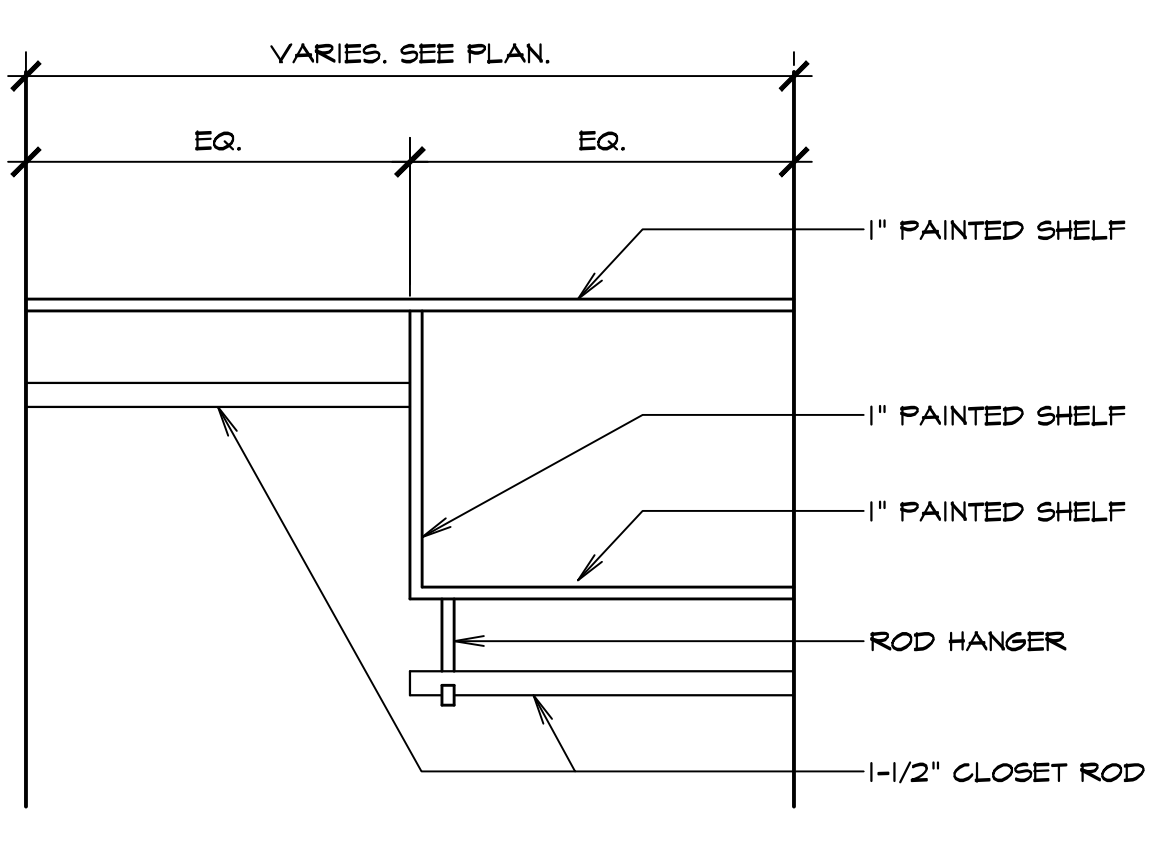
**2** DOOR TYPES  
SCALE: 1/4"=1'-0"



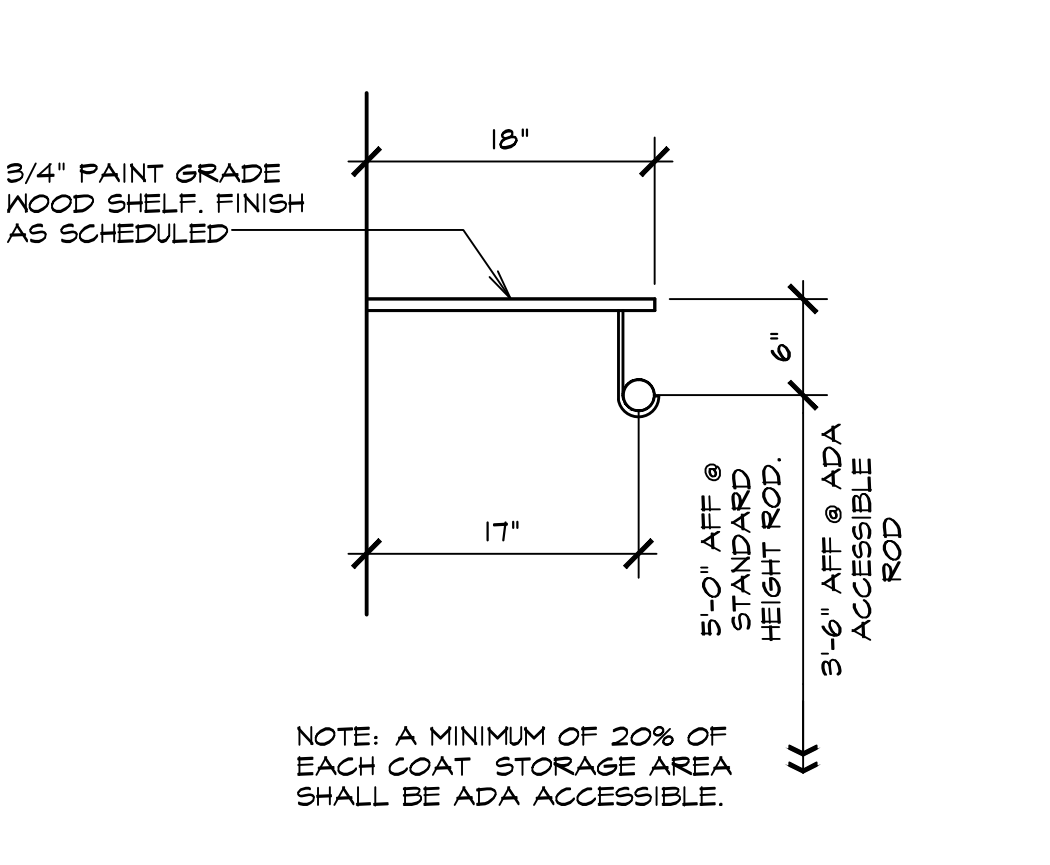
**3** DOOR PLACEMENT  
SCALE: 1/2"=1'-0"



**4** WALL TO MULLION DETAIL  
SCALE: 3/4"=1'-0"



**5** ADA COAT CLOSET DETAIL  
SCALE: 1/4"=1'-0"

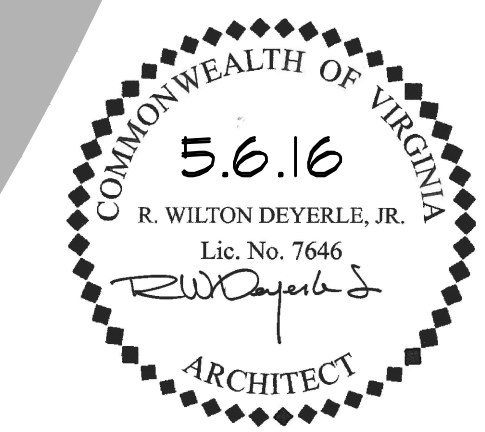


**6** BLOCKING IN WALL DETAIL  
SCALE: 3/4"=1'-0"



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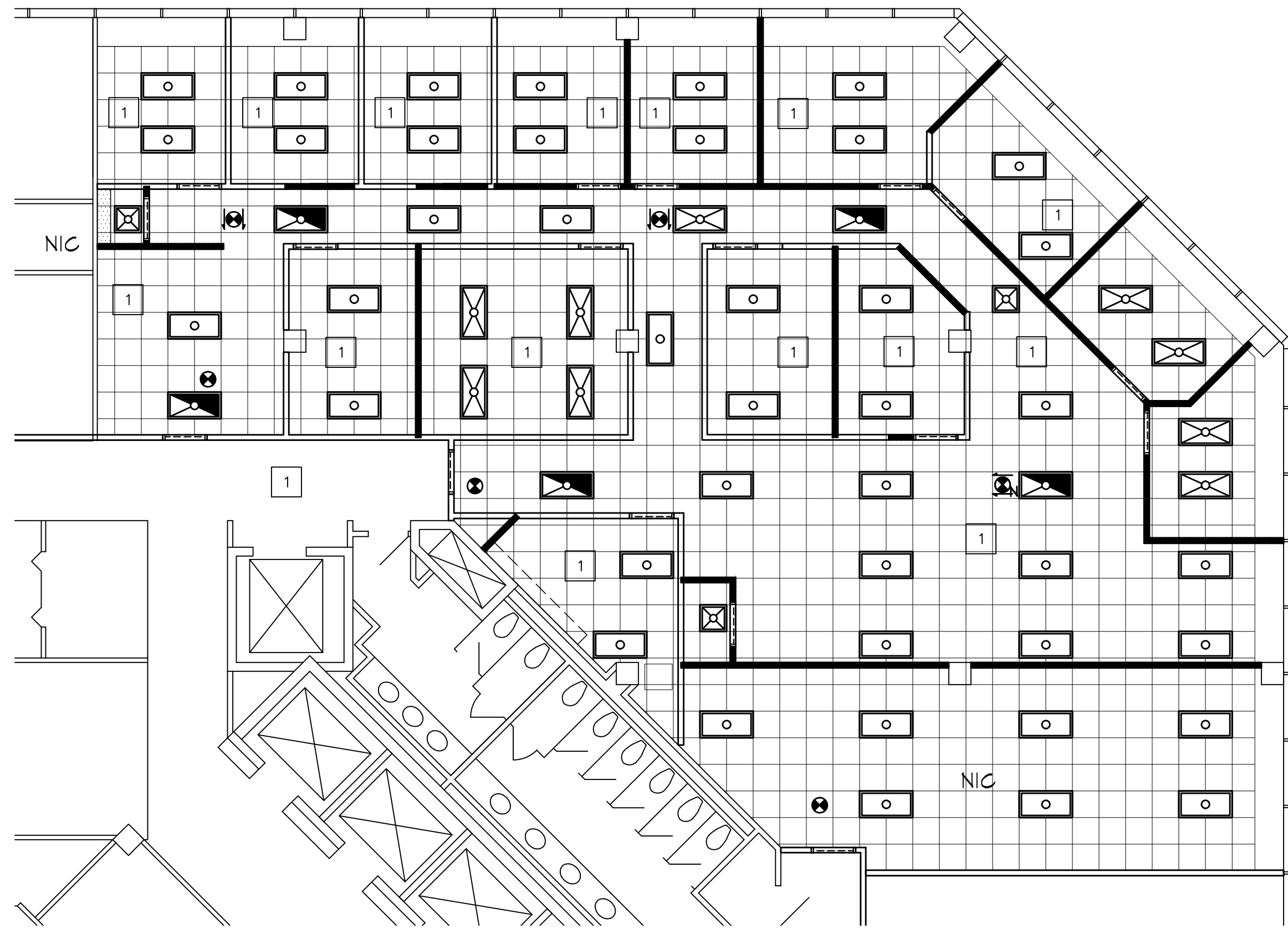
DRAWING ISSUE: PERMIT SET DATE: 5.6.2016

JOB NUMBER: 5929  
DRAWN BY: JCE  
CHECKED BY: RWD

WALL AND DOOR TYPES, DETAILS

SHEET NUMBER:  
**A1.2**





1 REFLECTED CEILING PLAN  
SCALE: 1/8"=1'-0"

### REFLECTED CEILING LEGEND:

SYMBOL	DESCRIPTION
	EXISTING BUILDING STANDARD CEILING GRID AND TILE TO REMAIN.
	EXISTING BUILDING STANDARD 2x4 FLUORESCENT FIXTURE TO REMAIN
	NEW BUILDING STANDARD 2x4 DIRECT/INDIRECT LED FIXTURE.
	BUILDING STANDARD 2x4 EMERGENCY BACKUP LED FIXTURE
	NEW OR REUSED BUILDING STANDARD 2x2 DIRECT/INDIRECT LED FIXTURE
	NEW WALL WASHER
	EXIT SIGN, FOR REFERENCE ONLY.
N	INDICATES NEW

### REFLECTED CEILING KEY NOTES

- 1 REPLACE ALL EXISTING 2'x4' FLUORESCENT LIGHTS WITH BUILDING STANDARD LED DIRECT/INDIRECT FIXTURES.

### REFLECTED CEILING NOTES

- CONTRACTOR TO REUSE AS MANY EXISTING FIXTURES AS POSSIBLE. CLEAN AND RE-LAMP ALL REUSED FIXTURES TO MATCH BUILDING STANDARD. PROVIDE NEW LAMPS AND/OR BULBS FOR ALL FIXTURES - EXISTING, REUSED, AND NEW. ALL BULBS TO HAVE A COLOR TEMPERATURE OF 3000K WITH A MINIMUM CRI OF 80. ALL FIXTURES SHOULD BE CLEAN AND FREE OF DUST, LABELS, ETC.
- REFER TO ARCHITECT'S REFLECTED CEILING PLAN FOR LIGHT FIXTURE LOCATION.
- CONTRACTOR SHALL PROVIDE LIGHT FIXTURE CUT SHEETS FOR ARCHITECT'S APPROVAL, PRIOR TO ORDERING. NO SUBSTITUTIONS SHALL BE SUBMITTED UNLESS AVAILABILITY OF FIXTURE IS PROHIBITIVE TO MEETING THE PROJECT SCHEDULE.
- ALL LIGHT FIXTURES ARE DIMENSIONED TO CENTER OF FIXTURE, UNLESS NOTED OTHERWISE.
- LIGHTS TO BE CENTERED ON TILE, TYPICAL, UNLESS NOTED OTHERWISE.
- WIRING DEVICES ARE TO MATCH BUILDING STANDARD.
- EACH SPACE TO BE INDIVIDUALLY SWITCHED UNLESS NOTED OTHERWISE.
- COVER PLATES ON WALLS SHALL BE BUILDING STANDARD. PLATES TO BE STANDARD SIZE (OVERSIZED PLATES ARE NOT ACCEPTABLE).
- COORDINATE ALL FIRE SAFETY EQUIPMENT, INCLUDING EXIT SIGNS, EMERGENCY BACK-UP LIGHTS, AUDIO AND VISUAL ALARMS, FIRE STATIONS, ETC AS REQUIRED BY ALL APPLICABLE CODES AND ORDINANCES HAVING JURISDICTION ON THIS PROJECT WITH CONTRACTOR. REFER TO MEP DRAWINGS FOR EXACT LOCATION AND SPECIFICATION OF EMERGENCY EGRESS AND LIGHTING AND EXIT FIXTURES.
- PROVIDE T-BAR HOLD DOWN CLIPS ON ALL FIXTURES WHERE APPLICABLE.
- PROVIDE BLOCKING IN CEILING FOR ALL PROJECTION SCREENS AND VIDEO PROJECTORS. COORDINATE WITH AV VENDOR.
- SEE DESIGN BUILD DRAWINGS FOR SPRINKLER LOCATION/FIRE SUPPRESSION PLAN.
- WHERE WATER HEATERS ARE PROVIDED IN THE PLENUM THEY SHALL BE SUPPORTED BY NON COMBUSTIBLE CONSTRUCTION (METAL STUDS).
- BREAK/REMOVE EXISTING CEILING GRID AT ALL NEW PARTITIONS THAT GO TO THE DECK. PATCH AND REPAIR AS NECESSARY.

### POWER/VOICE AND DATA LEGEND

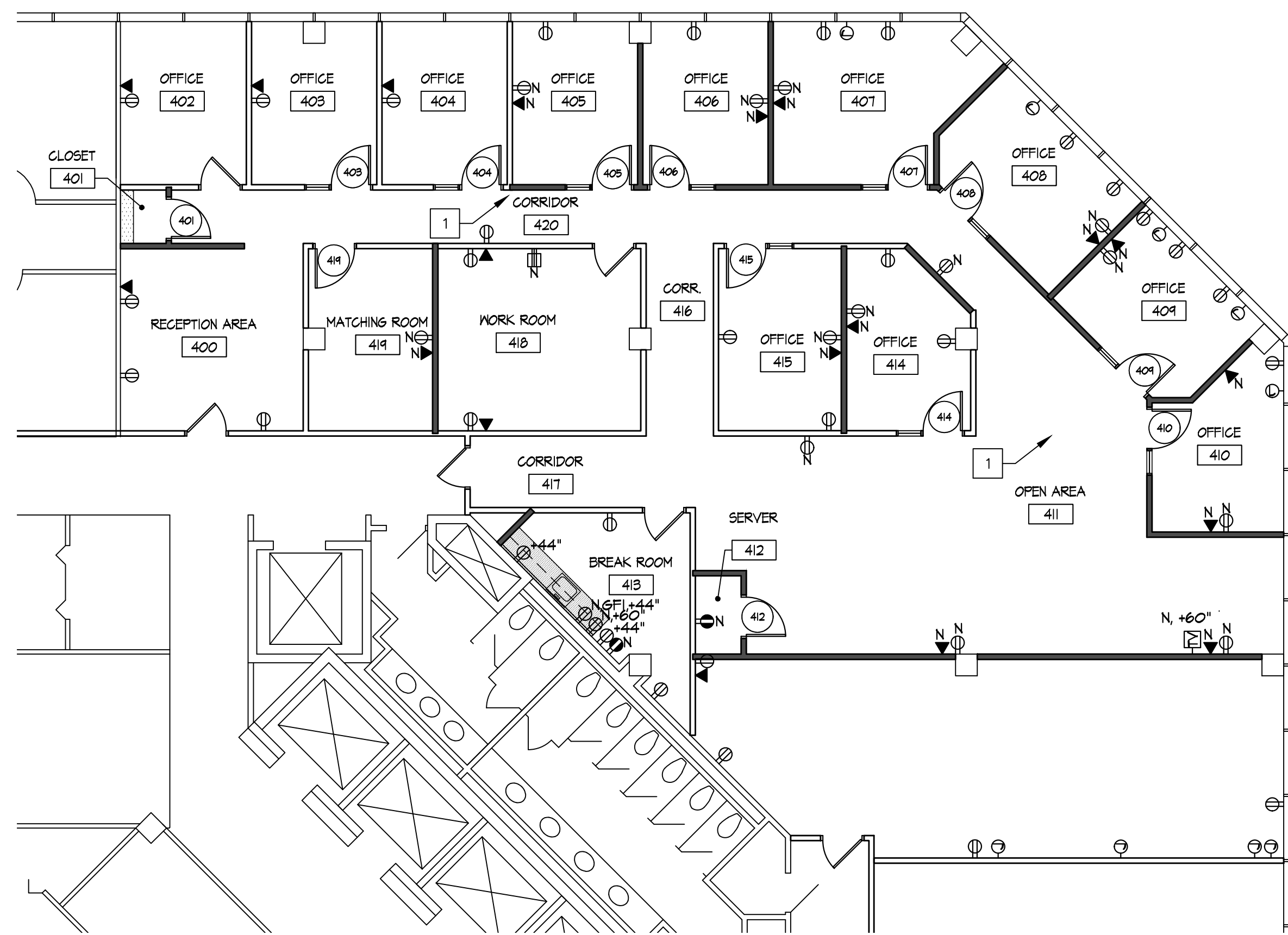
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE, 20 AMP.
	DUPLEX RECEPTACLE ON A DEDICATED CIRCUIT, 120 VOLT, 20AMP.
	DEDICATED RECEPTACLE FOR COPIERS. COORDINATE REQUIREMENTS WITH VENDOR
	GROUND FAULT INTERRUPTED DUPLEX RECEPTACLE ON A DEDICATED/ SEPARATE CIRCUIT.
	QUAD RECEPTACLE
	DEDICATED QUAD RECEPTACLE
	SINGLE GANG BOX FOR VOICE & DATA CONNECTION. PROVIDE CONDUIT TO ACCESS POINT ABOVE FINISHED CEILING. PROVIDE PULL STRINGS FROM BOX TO ACCESS POINT ABOVE CEILING.
	BLANK JUNCTION BOX
44"	INDICATED HEIGHT ABOVE FINISHED FLOOR.
	PROVIDE NEW CABLE TV WIRING AND DUPLEX OUTLET, WHERE INDICATED. COORDINATE WITH TENANT'S EQUIPMENT AND SPECIFIED CASEWORK.
N	INDICATES NEW

### PVD KEY NOTES

- 1 PROVIDE POWER ABOVE CEILING FOR TENANT'S WIFI ACCESS POINTS. COORDINATE EXACT LOCATION WITH TENANT.

### PVD GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CONDITIONS OF THE PREMISES AND THE CHARACTER AND EXTENT OF WORK REQUIRED PRIOR TO SUBMISSION OF BIDS. ANY DIFFICULTIES IN COMPLYING WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING.
- CONTRACTOR TO COORDINATE WITH TENANT TO SCHEDULE TENANT'S VOICE & DATA VENDOR.
- COVER PLATES ON WALLS SHALL BE RIGID NONMETALLIC TO MATCH THOSE EXISTING. PLATES TO BE STANDARD SIZE (OVERSIZED PLATES ARE NOT ACCEPTABLE). PROVIDE COVER PLATE ON ANY EXISTING BOXES NOT USED.
- WIRING DEVICES ARE TO MATCH THOSE EXISTING UNLESS NOTED OTHERWISE.
- VOICE AND DATA CABLING, TERMINATIONS AND COVER PLATES ARE BY VOICEDATA TENANT'S VENDOR. VOICEDATA BOXES AND PULL STRINGS SHALL BE INSTALLED BY ELECTRICAL SUB-CONTRACTOR.
- COORDINATE MECHANICAL SYSTEMS UTILIZATION OF A CEILING PLENUM, IF APPLICABLE, FOR RETURN AIR, AS REQUIRED. ALL MATERIALS USED WITHIN CEILING PLENUM SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES.
- ALL RECEPTABLES AND/OR OUTLETS SHALL BE LOCATED 18" A.F.F. UNLESS NOTED OTHERWISE.
- THE NUMBER DESIGNATION INDICATES HEIGHT ABOVE FINISH FLOOR. ALL HEIGHTS INDICATED ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
- WHERE 2 OR MORE BOXES OCCUR IN A PARTITION TOGETHER, BOXES SHALL BE MOUNTED ADJACENT TO EACH OTHER, WHERE BOXES ARE INDICATED BACK TO BACK IN A PARTITION, STAGGER AS REQUIRED.
- EXISTING BUILDING ELECTRICAL PANEL BOXES ARE LOCATED IN THE BUILDING ELECTRICAL AND TELEPHONE CLOSET. CONTRACTOR TO PROVIDE ADDITIONAL POWER TO MEET NEW TENANT ELECTRICAL REQUIREMENTS IF NECESSARY.
- REMOVE EXISTING ELECTRICAL OR DATA RECEPTABLES WHERE IT MAY INTERFERE WITH NEW CONSTRUCTION.
- VERIFY THAT CONDUIT IS PROVIDED RUNNING FROM ALL EXISTING POWER, VOICE AND DATA BOXES TO THE ABOVE CEILING. PROVIDE RING AND STRIPS IF CONDUIT DOES NOT EXIST RUNNING FROM BOXES. CONDUIT WILL BE PROVIDED IF THE POWER, VOICE, AND DATA LINES MUST RUN BELOW THE SLAB OR UNDER ADJACENT SUITES.
- WALL MOUNTED TELEPHONE OUTLETS, @48" AFF, SHOULD BE LOCATED 18" FROM DOOR FRAME, TYPICAL.
- WALL MOUNTED FIRE ALARM STROBES AND LIGHT SWITCHES, SHOWN TO BE ADJACENT TO AN OPENING, SHOULD BE LOCATED 18" FROM DOOR FRAME, WHERE APPLICABLE, (TYPICAL)
- REFER TO ARCHITECT'S PLAN FOR EXACT OUTLET AND JUNCTION BOX LOCATIONS. REFER TO MEP PLAN FOR CIRCUITS.
- CENTER NEW OUTLETS ON WALL IN WHICH THEY OCCUR, UNLESS OTHERWISE NOTED.
- PROVIDE JUNCTION BOX IN CEILING FOR SPECIALTY LIGHT FIXTURES. COORDINATE LOCATIONS WITH LIGHTING REPRESENTATIVE AND ARCHITECT. REFER TO REFLECTED CEILING PLANS FOR FURTHER INFORMATION.
- ALL OUTLETS ARE EXISTING TO REMAIN, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO RELOCATE EXISTING THERMOSTATS AS NECESSARY. KEEP CLEAR OF ALL EQUIPMENT, FURNITURE PANELS OR OTHER ITEMS THAT WOULD OBSTRUCT ACCESS TO THE THERMOSTAT. COORDINATE WITH ARCHITECT AND/OR TENANT. REFER TO ELECTRICAL DESIGN BUILD DRAWINGS. ALL LOCATIONS TO BE CONFIRMED WITH BUILDING ENGINEER PRIOR TO INSTALLATION.



2 POWER, VOICE AND DATA PLAN  
SCALE: 1/8"=1'-0"



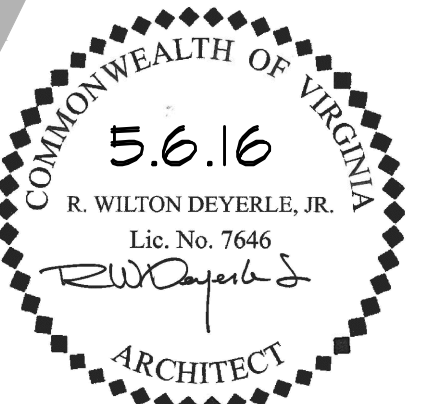
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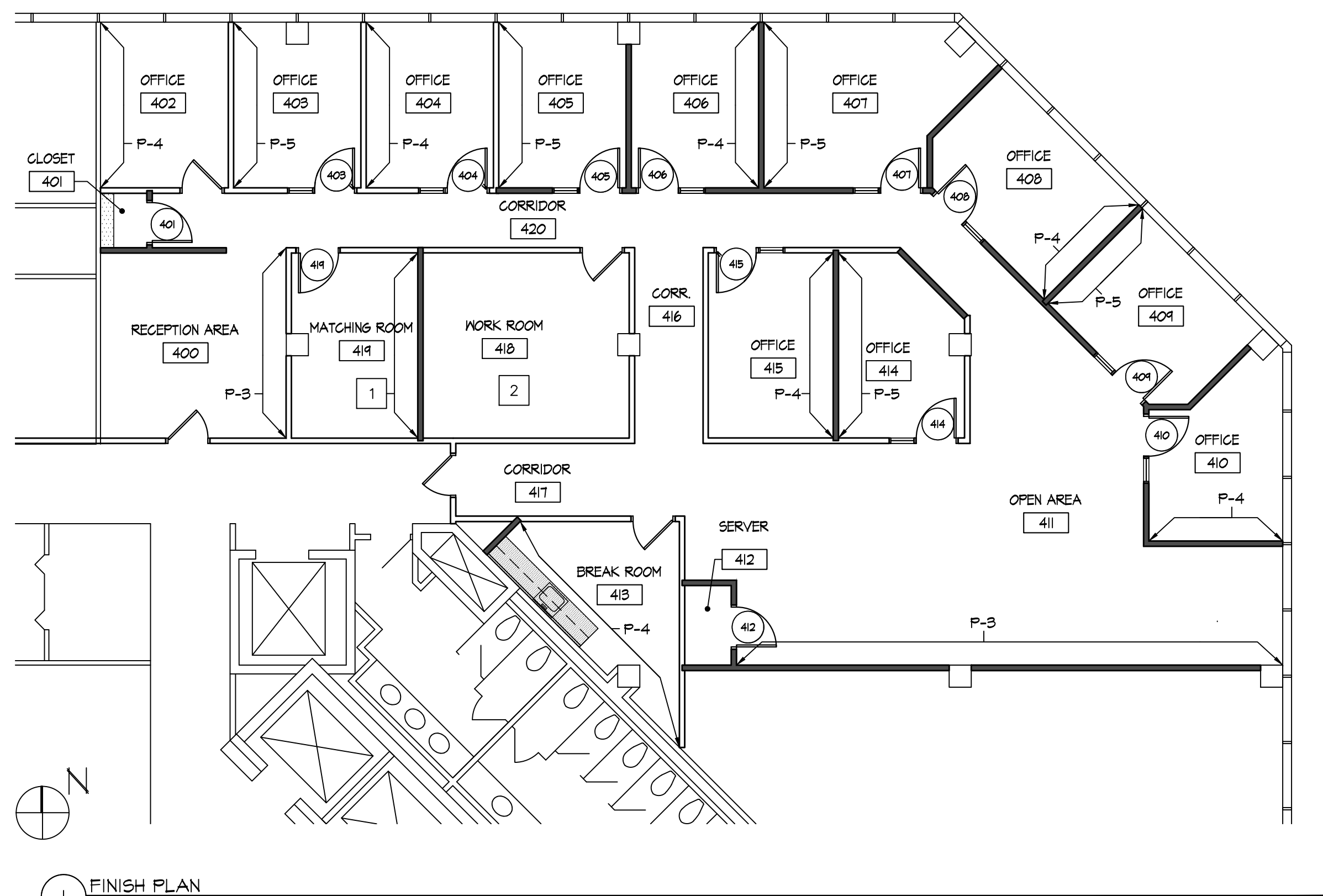
JOB NUMBER: 5929  
DRAWN BY: JCE  
CHECKED BY: RWD

REFLECTED CEILING AND  
POWER, VOICE AND DATA  
PLANS

SHEET NUMBER:

A2.1





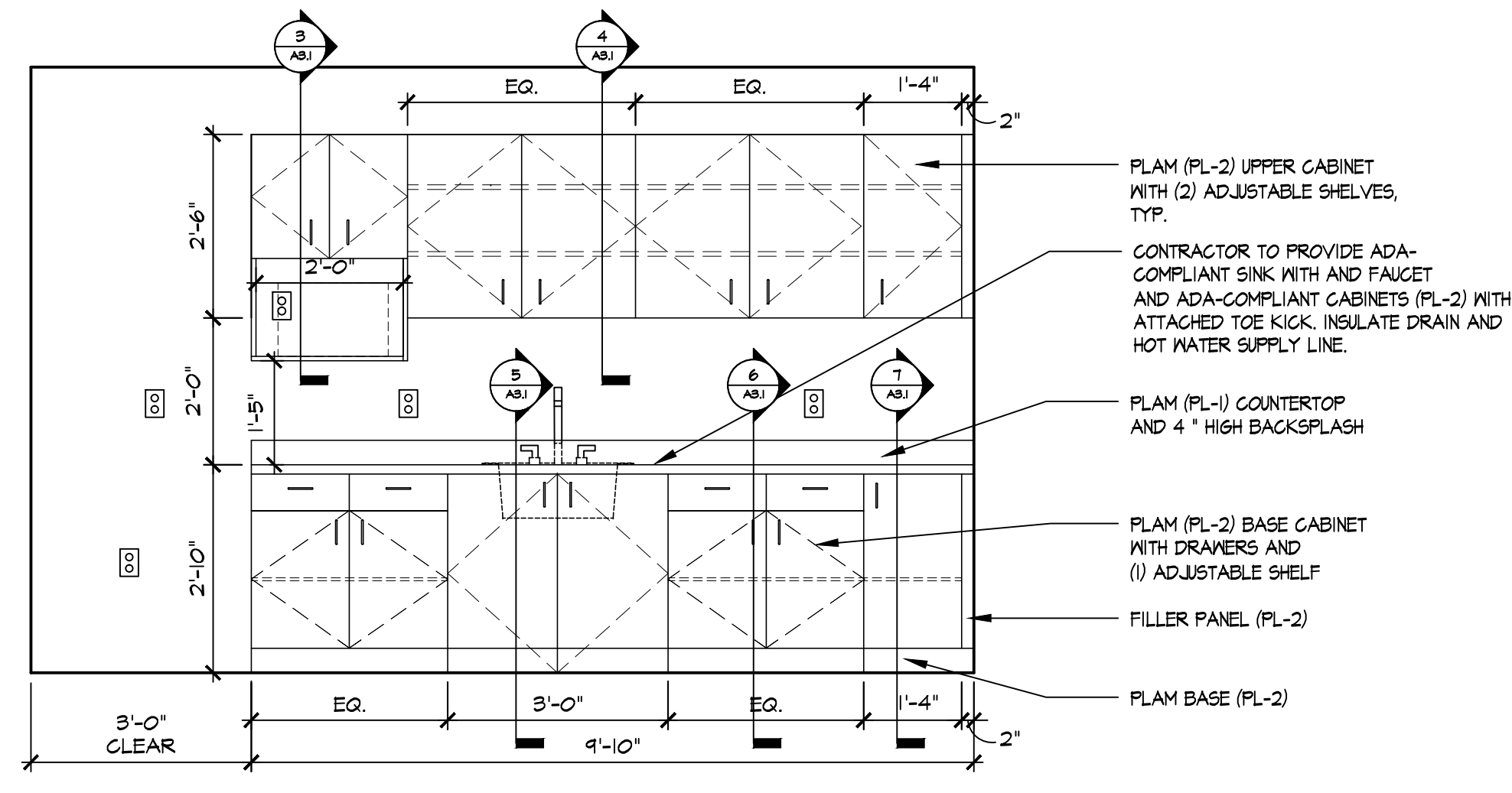
### ROOM FINISH SCHEDULE

NO.	ROOM	BASE	FLOOR	TRIM	WALL MAT.	WALLS				CEILING	NOTES	NO.
						ALL	NORTH	EAST	SOUTH			
400	RECEPTION AREA	VB-1	CPT-1	P-2	---	---	P-1	P-3	P-1	---	---	400
401	CLOSET	VB-1	CPT-1	P-2	---	---	---	---	---	---	---	401
402	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-1	P-4	---	---	402
403	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-1	P-5	---	---	403
404	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-1	P-4	---	---	404
405	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-1	P-5	---	---	405
406	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-4	P-1	---	---	406
407	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-1	P-5	---	---	407
408	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-4	P-1	---	---	408
409	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-1	P-5	---	---	409
410	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-1	P-1	---	---	410
411	OPEN AREA	VB-1	CPT-1	P-2	---	---	P-1	P-1	P-3	---	---	411
412	SERVER	VB-1	VGT-1	P-2	---	---	---	---	---	---	---	412
413	BREAK ROOM	VB-1	VGT-1	P-2	---	---	P-1	P-1	P-4	---	---	413
414	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-1	P-5	---	---	414
415	OFFICE	VB-1	CPT-1	P-2	---	---	P-1	P-4	P-1	---	---	415
416	CORR.	VB-1	CPT-1	P-2	---	---	---	---	---	---	---	416
417	CORRIDOR	VB-1	CPT-1	P-2	---	---	---	---	---	---	---	417
418	WORK ROOM	VB-1	VGT-1/2/B	P-2	---	---	---	---	---	---	---	418
419	MATCHING ROOM	VB-1	CPT-1	P-2	---	---	P-1	P-5	P-1	---	---	419
420	CORRIDOR	VB-1	CPT-1	P-2	---	---	---	---	---	---	---	420

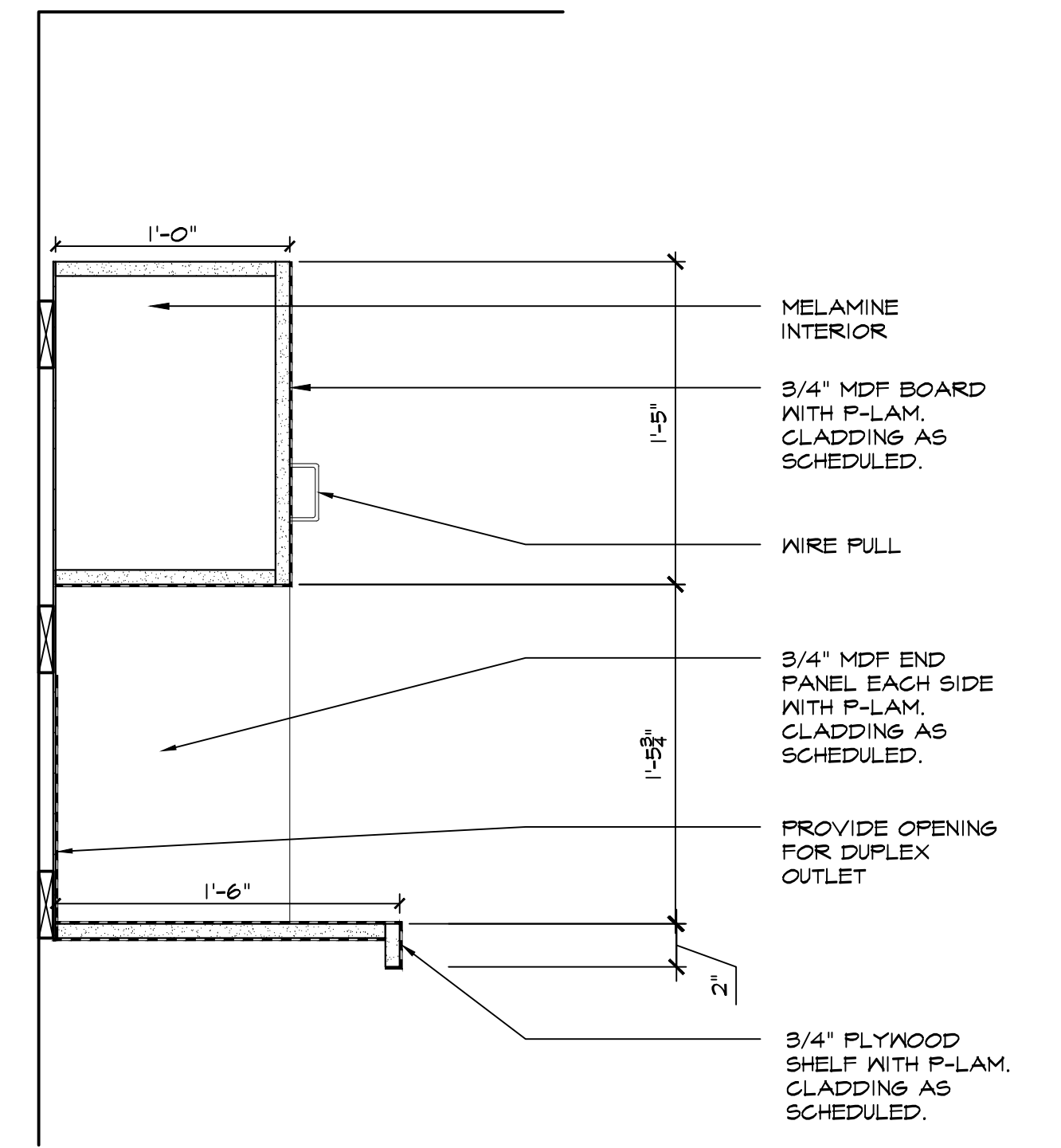
### FINISH SPECIFICATIONS

FLOORING	BASE	WALL COVERING	PLASTIC LAMINATE
CPT-1 MANUF. SHAKI CONTRACT STYLE: INFINITE COLOR: IMMENSE 04585 DESCRIPTION: 24"x24" INSTALLATION: MONOLITHIC EAST TO WEST	VB-1 MANUF. JOHNSONITE COLOR: T44 GATWAY HEIGHT: 4" STYLE: STRAIGHT LENGTH: CONTINUOUS	P-1 MANUF. SHERWIN WILLIAMS COLOR: PACER WHITE COLOR # S26095 FINISH: EGGSHELL	PL-1 MANUF. FORMICA COLOR: BLUE HALACHITE COLOR # 4445-90 FINISH: GLOSS
VGT-1 MANUF. ARMSTRONGS STYLE: STANDARD EXCELON COLOR: SOFT HARM GRAY COLOR # 51861 SIZE: 12"x12"		P-2 MANUF. SHERWIN WILLIAMS COLOR: PACER WHITE COLOR # S26095 FINISH: SEMI-GLOSS	PL-2 MANUF. WILSONART COLOR: VAPOR STRANDZ COLOR # 4491K-B FINISH: LINEARITY
VGT-2 MANUF. ARMSTRONGS STYLE: STANDARD EXCELON COLOR: POLAR WHITE COLOR # 51841 SIZE: 12"x12"		P-3 MANUF. SHERWIN WILLIAMS COLOR: REAL RED COLOR # S26565 FINISH: EGGSHELL	
VGT-3 MANUF. ARMSTRONGS STYLE: STANDARD EXCELON COLOR: CARIBBEAN BLUE COLOR # 51821 SIZE: 12"x12"		P-4 MANUF. SHERWIN WILLIAMS COLOR: REAL RED COLOR # S26465 FINISH: HYPER BLUE	
		P-5 MANUF. SHERWIN WILLIAMS COLOR: REAL RED COLOR # S26740 FINISH: KILKENNY	

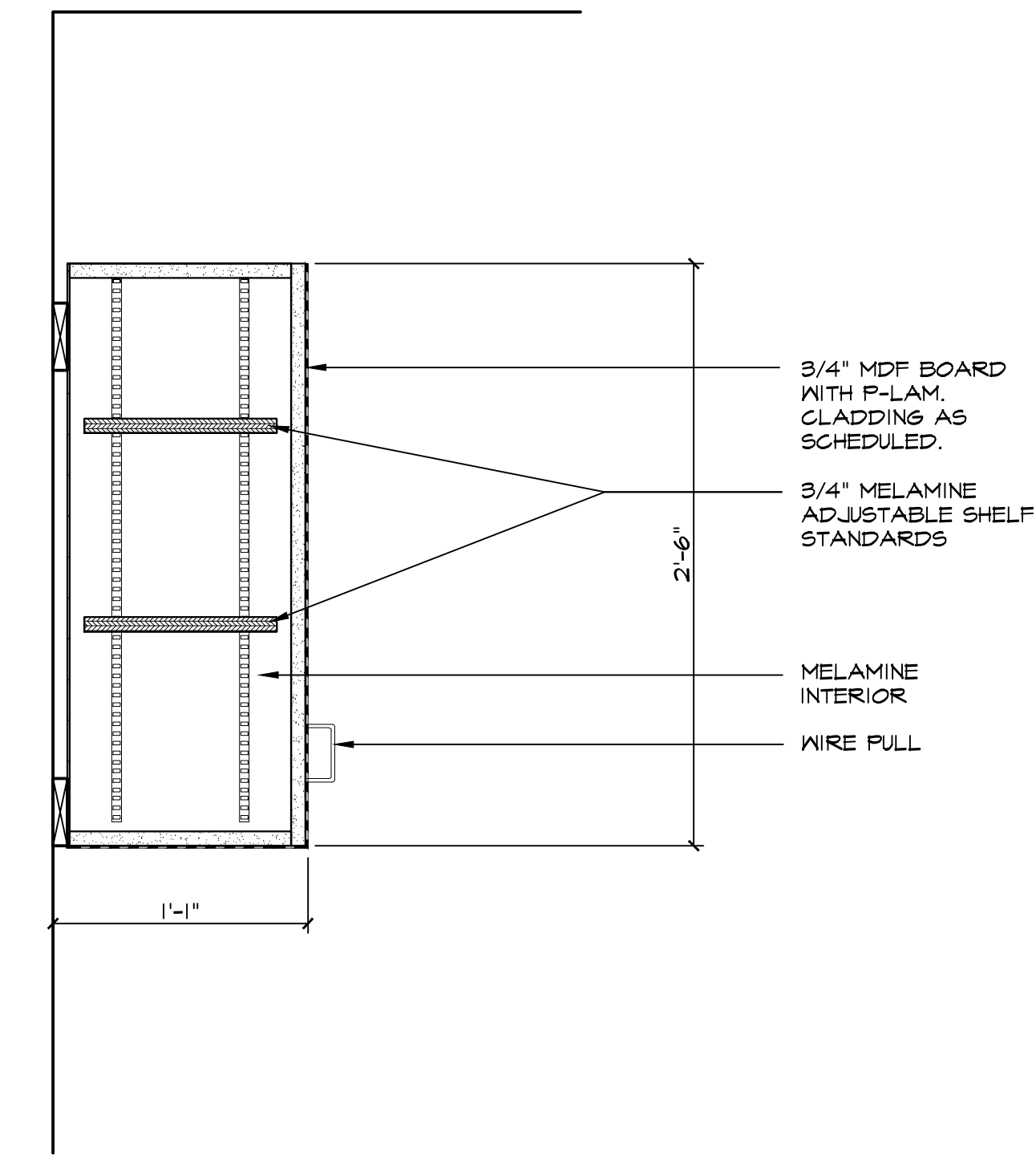
1 FINISH PLAN  
SCALE: 1/8"=1'-0"



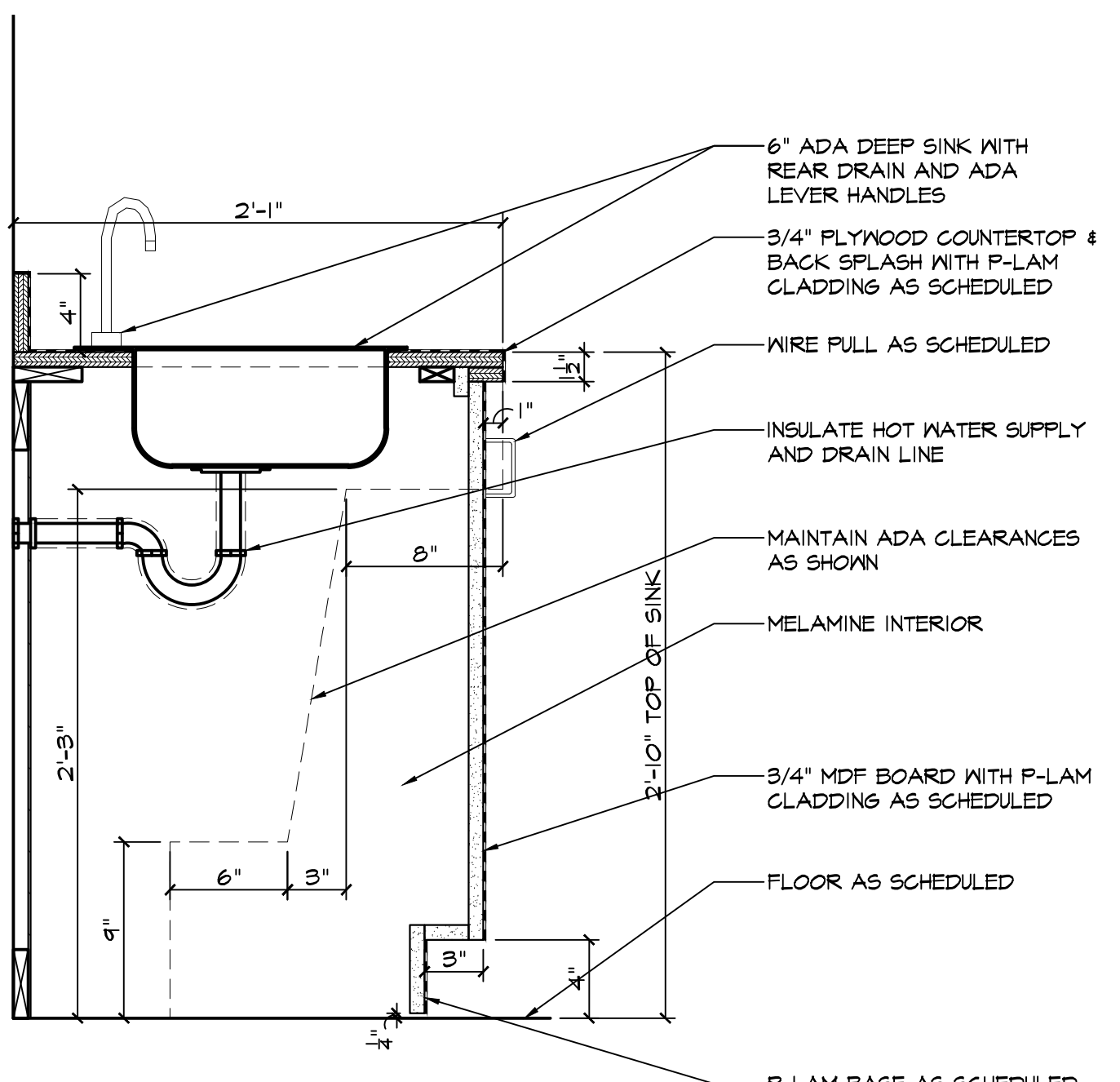
2 BREAK ROOM ELEVATION  
SCALE: 1/2"=1'-0"



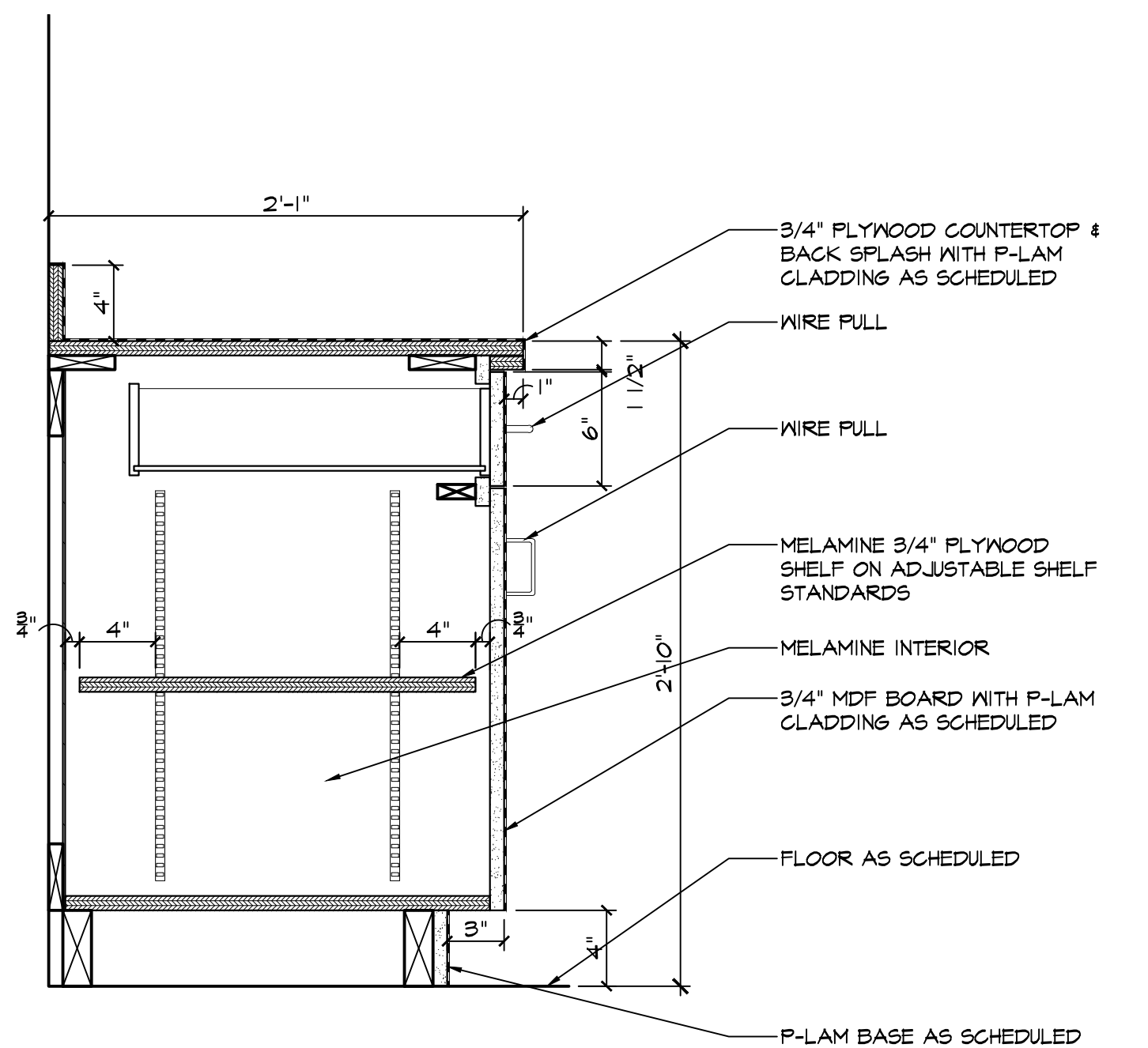
3 UPPER CABINET W/ MICROWAVE SHELF SECTION  
SCALE: 1/2"=1'-0"



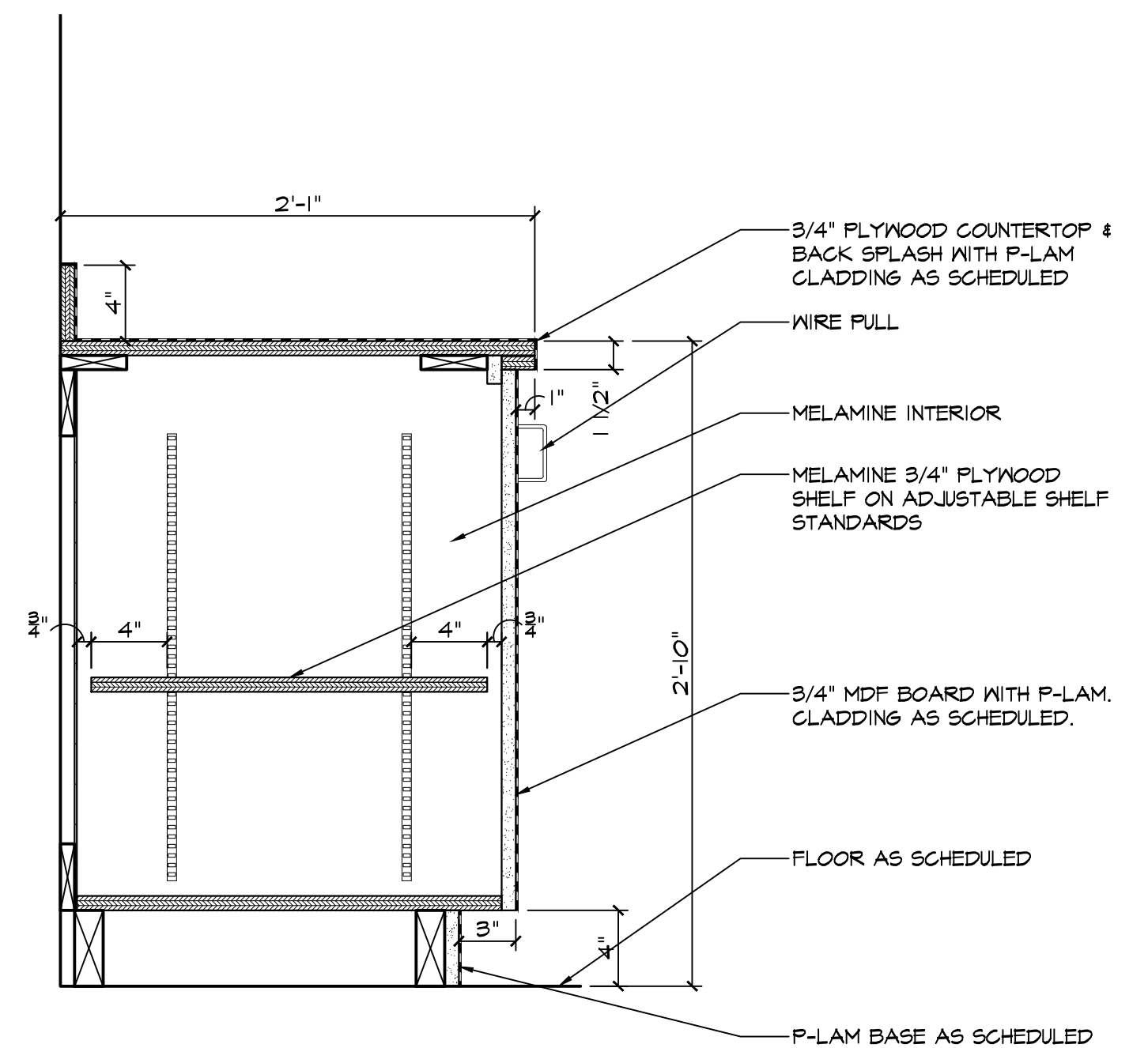
4 UPPER CABINET SECTION  
SCALE: 1/2"=1'-0"



5 ADA BASE CABINET SECTION W/ SINK  
SCALE: 1/2"=1'-0"



6 ADA BASE CABINET SECTION  
SCALE: 1/2"=1'-0"



7 ADA BASE CABINET SECTION  
SCALE: 1/2"=1'-0"

### FINISH LEGEND

- CPT = CARPET
- P = PAINT
- PL = PLASTIC LAMINATE
- TS = TRANSITION STRIP
- VB = VINYL BASE
- VGT = VINYL COMPOSITION FLOOR TILE

### FINISH GENERAL NOTES

- CONTRACTOR TO SUBMIT (3) SETS OF 8" X 10" SAMPLES TO ARCHITECT FOR APPROVAL, PRIOR TO ORDERING. THIS IS INCLUSIVE OF ALL FINISH SAMPLES.
- FLOOR FINISH NOTES**
- VGT FLOORING IS TO BE RUN IN A LINEAR DIRECTION.
  - REFER TO SHEET 612 FOR ADDITIONAL NOTES AND THIS SHEET FOR FINISH SPECIFICATIONS.
  - ALL MATERIALS SHALL BE APPLIED IN ACCORDANCE WITH SPECIFICATIONS AND MANUFACTURERS' RECOMMENDATIONS.
  - PROVIDE VINYL REDUCER STRIPS TO MATCH BASE BETWEEN CARPET AND VINYL FLOORING. STRIPS SHOULD BE CENTERED UNDER DOORS; COLOR TO BE SELECTED BY ARCHITECT.
  - CARPET SEAMING TO BE COORDINATED FOR PROPER MATCHING OF CARPET PATTERNS.
  - CONTRACTOR TO CORRECTLY TREAT ALL SEAM AND EDGES ACCORDING TO MANUFACTURERS' RECOMMENDED INSTALLATION METHODS AT ALL CARPET-TO-CARPET TRANSITIONS. CONTRACTOR TO SUBMIT SEAMING DIAGRAM TO ARCHITECT FOR APPROVAL. SEAMING DIAGRAM SUBJECT TO ADJUSTMENT OR CHANGE AS REQUIRED.
  - CONTRACTOR TO COORDINATE ALL DOOR SWINGS WITH FLOOR MATERIAL FOR FREE AND CLEAR SWINGS.
  - CONTRACTOR TO FLASH PATCH ALL FLOORS AS REQUIRED TO SATISFY ALL ASSEMBLY AND INSTALLATION REQUIREMENTS.
  - CLEAN ALL GLUE FROM VGT FLOORINGS. INSTALLATION AND PROVIDE ONE COAT OF MANUFACTURERS' APPROVED POLISHED WAX FINISH.
  - FLASH PATCH AT ALL TRANSITIONS.
  - CARPET TO TILE TRANSITION STRIP - SCHLUTER EDGE STRIP. TRANSITION STRIP TO MATCH TILE HEIGHT.
  - ALL VINYL WALL BASE SHALL BE PROVIDED IN CONTINUOUS RUNS.

### WALL FINISH NOTES

- REFER TO 612 FOR ADDITIONAL NOTES AND THIS SHEET FOR FINISH SPECIFICATIONS.
- ALL MATERIALS SHALL BE APPLIED IN ACCORDANCE WITH SPECIFICATIONS AND MANUFACTURERS' RECOMMENDATIONS.
- ALL FINISHES AT CLOSETS TO MATCH THE ROOM IN WHICH THEY OCCUR.
- ALL PAINT GRADE CLOSET SHELVES SHALL RECEIVE THREE COATS OF SEMI-GLOSS PAINT TO MATCH THE WALL IN WHICH THEY OCCUR U.O.N.
- ALL EXISTING METAL FRAMES TO BE BRUSHED, SANDED AND FILLED AS REQUIRED FOR A "LIKE NEW" APPEARANCE AND SUBJECT TO ARCHITECT'S APPROVAL IN FIELD. DOORS TO BE PROPERLY PRIMED PRIOR TO RECEIVING FINAL FINISH PAINT GRADE.
- ALL FIRE EXTINGUISHER CABINETS AND FIRE STANDPIPE CABINETS TO BE PRIMED AND PAINTED IN A SEMI-GLOSS FINISH TO MATCH THE WALL FINISH IN WHICH THEY OCCUR U.O.N.
- CONTRACTOR TO VERIFY EXISTING CONDITION OF PERIMETER WINDOW-SYSTEM SILLS AND BASE MULLIONS AT START OF CONSTRUCTION AND REPAIR TO "LIKE NEW" CONDITION.
- PATCH AND REPAIR WALL SURFACES AS REQUIRED TO PROVIDE SMOOTH SURFACE READY TO RECEIVE NEW WALLCOVERING.
- THERE SHALL BE A MINIMUM NUMBER OF (1) PRIMER COAT AND (2) FINISH COATS. MAXIMUM NUMBER OF COATS SHALL BE AS REQUIRED TO OBTAIN UNIFORM COLOR AND SHEEN.

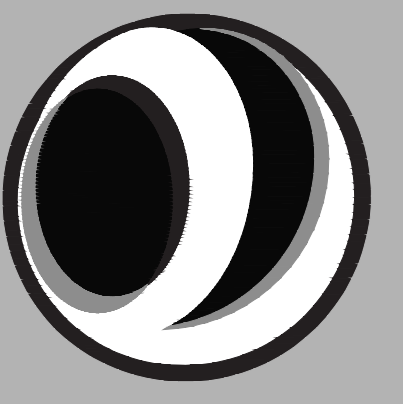
### FINISH KEY NOTES

- PAINT 4' SECTION OF ENTIRE WALL WITH WOLF GORDON PINK WHITEBOARD PAINT. PAINT WILL BE DONATED BY WOLF GORDON. CONTACT SUSAN LYNGH (SUSANLYNGH@NOLF.GORDON.COM). PAINT TO START AT 36" A.F.F.
- VGT-1, 2 AND 3 SHALL BE INSTALLED IN A RANDOM PATTERN, 50% VGT-1, 25% VGT-2 AND 25% VGT-3.



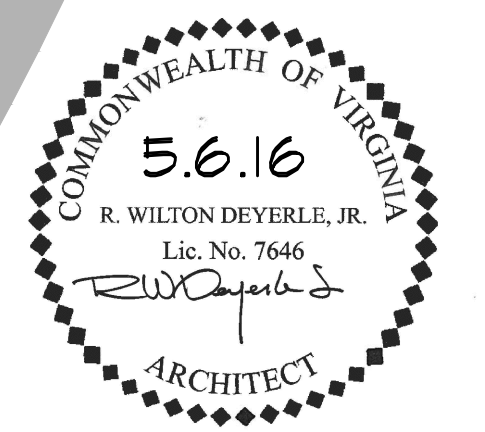
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FINISH PLAN, ELEVATION  
AND SECTIONS

SHEET NUMBER:

# A3.1