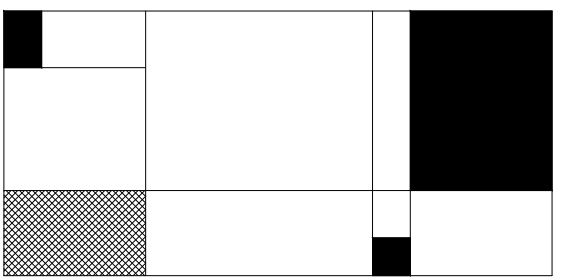


ALLEN, ALLEN, ALLEN & ALLEN

6109 BRASHER BLVD., MECHANICSVILLE, VA



Hummel Associates
ARCHITECTURE
SPACE PLANNING
INTERIOR DESIGN

223 North First Street, Richmond, VA 23219
(804) 643-7337 FAX (804) 643-7720

GENERAL NOTES:

- The General Contractor (G.C.)/Sub-Contractors shall read the following notes, and bear responsibility for conveying all terms and conditions to the Sub-Contractors.
- All work shall be done in accordance with applicable National, State and Local Building Codes.
- All Healthcare Facilities shall be in accordance with the FGI (Facility Guidelines Institute) based on the type of facility, unless otherwise noted.
- Items and Details not included or specified, but necessary for the proper and acceptable construction, installation or operation of any work, shall be included in the work as if it were specified or indicated on the drawings. The Contractor shall immediately notify the Designer of a discrepancy in a plus or minus dimension discovered in the field to be in excess of 2".
- The Contractor shall visit the site and be responsible for having recorded all conditions within the scope of the project. No claims for extra compensation, based on ignorance of visible or implied conditions will be considered.
- The Contractor shall verify all existing conditions prior to submitting bids and before starting work, and report any discrepancies to the Designer. The drawings reflect conditions reasonably interpreted from the existing visible conditions, or from drawings or information furnished by the owner, but cannot be guaranteed by the Designer.
- The Contractor shall obtain and pay for all required permits, schedule all required inspections, and obtain all code approvals.
- The Contractor shall be responsible for the protection of all existing and new materials within the proposed construction area. Any damage caused by or occurring during the execution of the work is the responsibility of the Contractor and shall be repaired to the Owner's satisfaction at the expense of the Contractor.
- The Contractor shall keep the construction site free and clear of all debris and keep out all unauthorized persons. Upon completion of the work, the construction area is to be completely cleaned.
- Do not scale drawings. Field verify all dimensions necessary to ensure the accuracy of the work. Should a conflict be discovered within the contract documents, the Contractor shall be deemed to have estimated the highest quality way of doing the work unless he shall have asked for and obtained a decision, in writing, from the Designer before entering into this Contract.
- All patching of existing conditions shall start at the nearest break in plane or direction. Patch all floor areas where existing walls are relocated or removed with matching materials and finishes. All salvage materials shall be kept in the areas where indicated by the Owner.
- The Contractor shall design and install adequate shoring and bracing as required for all structural or removal tasks. The Contractor shall have sole responsibility for all damages or injuries caused by this work and shall repair all defects and pay all claims at his sole expense.
- All work shall be guaranteed for one year after final approval. The Contractor shall sign the written guarantee as provided by the Owner. This guarantee shall cover all of the General and Subcontractor work. All defects discovered during the guarantee period shall be repaired to the Owner's satisfaction at the Contractor's expense, and with no cost to the Owner.
- Unless otherwise noted, dimensions are from finished face of existing wall to face of stud of new partition. New construction goes from face of stud to face of stud (including one wall thickness).
- New work extending from existing conditions shall align with and match existing construction except where otherwise noted.
- 20 GA. metal studs and wood blocking as required shall be used at all door frames and where any non-self-supporting, wall-hung fixtures, equipment, or cabinetry are shown on the drawings.
- All angles are 45 degrees unless noted otherwise.
- Align finish face of new partitions with finish face of columns unless noted otherwise.
- Align centerline of new wall construction with centerline of window mullion at perpendicular intersection unless otherwise shown.
- Install all manufactured materials and equipment in accordance with the manufacturers' specifications.
- All work performed by the Contractor shall conform to building standards, as a minimum.
- The Contractor is to schedule the work with the Owner. Any work that may be disruptive to existing tenants or the owners operations is required to be coordinated with the Owner's operations and performed after working hours, if deemed necessary and stated in the "General Notes".
- The Contractor shall not remove any parts, fixtures, or devices from other areas of the building to complete the job.
- The Contractor is responsible for a thorough cleaning of the space prior to building occupancy.
- If any errors, inconsistencies, or omissions in the Contract Documents are recognized by the Contractor, any member of his organization, or any of his Subcontractors, the Contractor shall report to the Designer in writing such error, inconsistency, or omission before proceeding with the Work. If the Contractor fails to give such report and, knowingly, proceeds with the incorrect work, he shall correct any such errors, inconsistencies, or omissions at no additional cost to the owner.
- Should the Specifications and Drawings fail to particularly describe the product to be used in any place, then it shall be the duty of the Contractor to make an inquiry to the Designer as to the product that is best suited. The product that would normally be used in this place to produce first quality, finished work shall be considered a part of the Contract.
- The Contractor shall be responsible for the space requirements, locations, and routing of his equipment. In areas and locations where the proper and most effective space requirements, locations, and routing cannot be made as indicated, the Contractor shall meet with all others involved, before installation, to plan the most effective and efficient method of overall installation and shall, with the assistance of all others, prepare all coordination drawings. A general example is equipment above corridor ceilings where duct work, piping, conduit, lights, etc., will be installed. A thorough coordinated plan shall be used to install the equipment to furnish proper clearances, radii of turns, locations, pipe slopes, supporting appurtenances, and access where required.

CONSTRUCTION NOTES:

- All interior partitions shall be taped smooth and sanded to receive paint or wallcovering.
- Door openings in partitions, not dimensioned, are to be located within 6" of adjoining partitions.
- Glazing adjacent to doors is to be tempered as per code.
- Toilet Room stalls, fixtures, etc. shall comply with A.D.A. guidelines for clearances, and mounting heights.
- Materials used for construction of interior walls or partitions shall be non combustible in accordance with IBC 2012 code, Table 601 - "Fire Resistance Rating Requirements for Building Elements"
- All locks and latches installed on required exit/egress doors shall comply with the provisions of IBC 2012 code, Section 1008.1 - "Doors."
- All penetrations through floor slabs such as piping, conduits, ducts, pneumatic tubes, etc. shall be packed and sealed off with fire-rated material and shall be approved by Owner before implementation.
- The Contractor shall review and submit shop drawings and submittals to designer as requested in Shop Drawings and Submittal Review notes below.
- All requests for substitutions of items specified shall be submitted in writing to Designer and will be considered only if it better facilitates a more advantageous date. Otherwise a lower price (with credit to the Owner) will be provided without sacrificing quality, appearance and function. Substitutes will not be considered unless authorized by the Designer
- All existing and new exterior doors to receive weather stripping.
- For all areas required, provide joint sealers, joint fillers and other related materials that are compatible with joint substances under services.

FINISH NOTES:

- The Contractor shall review and submit shop drawings and submittals to designer as requested in Shop Drawings and Submittal Review notes below.
- Coordinate installation of resilient base with installation of millwork.
- The Contractor shall coordinate all wall covering application in or around cabinet work.
- For installation of Carpets, Contractor to refer to The Carpet and Rug Institute "Standards for Installation of Commercial Textile Floor covering Materials - CIRI 104-2002" for minimum requirements.
- The Contractor shall provide and install transition strips at doors where carpet and resilient or other hard flooring meet. Install "Z" metal strip (chrome finish unless otherwise noted) for carpet to tile installations. Submit transitions to Designer for approval.
- Floor covering in closets shall be the same as that of the space onto which the closet doors opens unless otherwise noted.
- Where floor mounted outlets are required on carpet area, cut the carpet in a "X" over the hole and tuck carpet under to allow carpet patching at a later time.
- The Contractor shall float all areas where floor is not level or true prior to flooring installations.
- The Contractor shall strip and apply 3 coats of wax to all VCT before occupancy. Use wax specified by product Manufacturer.
- All interior and exterior doors to be sealed top and bottom.
- Provide and install floor to ceiling clear plastic corner guards at all outside corners, unless otherwise noted.
- Grout line for tile/marble floors to be a maximum of 1/8" wide, unless otherwise noted.

HEATING, VENTILATION, AIR CONDITIONING AND PLUMBING NOTES:

- All HVAC and Plumbing work is to be done Design/Build unless otherwise shown. The contractor is responsible for including stamped drawings, permits and associated fees as required.
- Verify thermostat locations with Designer as to avoid conflict with furnishings and fixtures.
- Thorough testing, balancing and adjusting of the new and/or existing HVAC work is required before occupancy. Provide Alternate Cost to have independent testing by Testing/Balancing Agency.
- All kitchens and bathrooms shall be vented according to current Building Code requirements.
- All sinks & lavatories shall have hot and cold water service, provide low-boy water heaters Design/Build unless otherwise specified.
- The Contractor shall install or alter fire protection systems and fire sprinkler systems in accordance with all applicable codes NFPA 13.
- Fire sprinkler heads to match existing, use white concealed heads in drywall ceilings & soffits.
- The Contractor shall provide, locate & install all req'd Fire Extinguishers and signage in accordance with applicable codes and NFPA 10 & 72E. Prior to installation, the Contractor shall verify all fire extinguisher locations with Designer.
- Fire sprinkler heads to be located on walls with acoustical tile whenever possible.
- General contractor to verify that clearance around a water closet is 60" min in width (measured perpendicular from the side wall) and 56" min in depth (measured perpendicular from the rear wall) to meet ANSI requirements.

ELECTRICAL AND TELECOMMUNICATION NOTES:

- All electrical and telecommunication work is to be done Design/Build unless otherwise shown. The contractor is responsible for including stamped drawings, permits and fees associated as required.
- Any outlets which cannot be installed as noted or as shown on plans due to conflicts with structural, mechanical, or electrical conditions, shall be clarified with Owner before proceeding. The Contractor is responsible for reviewing casework elevations and coordinating installation.
- Where data communication jacks are called for, they shall be provided by Tenant. Conduit shall be installed by the Contractor complete with pull string from end to end. Cable work shall be performed by Tenant. This shall include provisions for cable runs from backboard to telephone system/computer system as occurs. Contractor provided conduit in plenum area is not required when plenum cable is used.

ELECTRICAL AND TELECOMMUNICATION NOTES, CONTINUED:

- Dedicated outlets are to receive white receptacles. Isolated outlets are to receive orange receptacles.
- Locate light switches as close to strike side of door as possible. Gang multiple outlets as tightly together as possible.
- Junction boxes located in wall with acoustical controls are to be staggered.
- Equipment installed in fire rated walls or assemblies must be approved for that use.
- The Contractor shall install or alter remote signaling and/or fire alarm circuits, horns and strobe lights to conform with provisions of the National Electric Code, A.D.A. and all applicable Building Codes. Contractor to coordinate location with Designer.
- Contractor responsible for P.E. sealed electrical plans, required to be on the job site for electrical inspections.
- Align and gang multiple light switches and/or dimmers, cover with single cover plate. All switch outlet and data cover plates to be satin stainless steel finish unless otherwise noted. The Contractor shall coordinate electrical requirements for all HVAC and water heating systems. The Contractor shall obtain the Office Equipment Plan and coordinate with Electrician prior to electrical system design. Copiers and Printers shall be on dedicated circuits, submit electrical power plan to Designer for review prior to installation.
- A low voltage permit may be required by local building authorities for plenum cabling associated with telephone/computer systems and furniture systems installations. The TENANT'S VENDOR is to apply for and obtain this permit if required.
- Pull box shall be installed at all necessary point, whether indicated on the drawings or not, to prevent injury to the insulation or other damages that might result from pulling resistance or for other reasons necessary for proper insulation. Minimum dimensions shall not be less than NEC requirements and shall be increased if necessary for practical reason or, where required to fit a job condition.
- Pull and junction boxes shall be galvanized steel, rigidly secured in position to the structure.
- Cabinets required for use in various systems for the mounting of accessories or terminals, relays and the like shall be constructed of code gauge galvanized steel. Backboards shall be provided for the mounting of all accessories, of minimum 3/4" plywood and painted to match the cabinet.
- Wireways shall be provided as required. Wireways used shall be UL listed as wireways or auxiliary cutters.
- Provide switch and outlet boxes, complete w/ cover or device plate for switches, receptacles, or other devices specified.
- Conduit bodies may be used on exposed conduit, where allowed by the NEC.
- Wiring devices shall be complete w/ all mounting devices and other appurtenances where required. All wiring devices shall be the product of single manufacturer except as otherwise noted.
- LIGHT SWITCHES: All light switches shall be toggle type, rated 20 AMPS, 120/277 VOLT AC, specification grade, installed 48" O.C. @AFF, unless otherwise noted. Switches shall be single pole, 3-way or 4-way as indicated.
- DIMMING SWITCHES: All dimming switches shall be slide type, rated 20 AMPS, 120 VOLT AC, specification grade, installed 48" O.C. @AFF, unless otherwise noted.
- RECEPTACLES: All receptacles shall be duplex outlets, 125 VOLT AC, 20 AMPS, two pole, three wire grounding type, special and heavy-duty type receptacles shall be provided as suitable for intended use.
- OUTLET BOXES: Pressed galvanized steel outlet boxes shall be used for indoor and dry locations. Cast iron w/ threaded hub outlet boxes shall be used for outdoor, exposed and wet locations.
- Telephone instruments, and connections shall be provided by local telephone company. Building contractor shall provide a complete system of empty conduit, outlets and backboards as indicated on plans.
- Patient care areas/exam rooms to comply with section 517 (healthcare facilities) of current National Electrical Code and noted on all Electrical stamped drawings.

REFLECTED CEILING NOTES:

- Lighting shall be installed in accordance with the IES recommended standards.
- All fixtures shall be furnished complete w/ sockets, internal wiring, leads, trim, hangers, supports, frames, ballasts, etc., as applicable.
- All fixtures shall be supported by means of adequate hangers w/ attachments to building construction independent of any ceiling system.
- Locations of ceiling fixtures shall be as indicated on reflected ceiling plan and coordinated with other ceiling penetrations. Where conflicts occur, notify Owner or Designer for clarifications.
- Ceiling heights shall be as noted.
- Locate recessed downlights, wall washers and spot lights in center of ceiling tile, unless otherwise noted. Recessed downlights are to be installed not less than 18" & no more than 30" from the wall, unless noted otherwise. Lights shall be installed per applicable codes and manufacturer's installation instructions.
- Fluorescent light fixtures shall provide an average level of lighting throughout at 75 foot candles as per code.
- If no reflected ceiling plan is provided, adjust lighting and switching as needed to accommodate changes in partition plan.
- Emergency lighting and exit lighting shall be provided for all paths of egress from building. All egress and exit fixtures shall be supplied by battery backed up ballast as indicated on drawings. Provide exit lights per codes, indication of egress, emergency powered, powered 5 F.C.

AMERICANS WITH DISABILITIES ACT "A.D.A." NOTES:

- Construction shall comply with ADA ("Americans with Disability Act") accessibility guidelines where noted. The Contractor shall be responsible for following the guidelines for clearances, mounting heights, etc. for these areas or components. These components include, but are not restricted to, corridors (44" min. width), doors (36" wide) with lever type hardware.
- Handicap lavatory P-Trap and angle valve assemblies shall be insulated with the fully molded, TRUEBRO, white color Handi Lav-Guard insulation kit Model #102 with Accessory #105.
- The Contractor is responsible for providing ADA signage to meet all current codes and ordinances.

SHOP DRAWING AND SUBMITTAL REVIEW:

- The following shop drawings and submittals are required by Hummel Associates for review: Casework; Electrical; Plumbing; Door Hardware and Finish; Finishes specified in finish schedule; Carpet Seam Diagram or Dry Mock Up of Carpet Tile.
- Designer's review of Shop Drawings and Submittals is only for general conformance with the design concept of the project and general compliance with the information given in the contract documents. Corrections or comments made on the shop drawings do not relieve the contractor from compliance with the requirements and specifications on the plans. Approval of a specific item shall not include approval of an assembly of which the item is a component. The Contractor is responsible for: dimensions to be confirmed and correlated to the job site; in formation that pertains solely to the fabrication process or to the means, methods, techniques, sequences and procedures of construction of the work of all tables and procedures of construction; coordination of the work of all tables and for performing all work in a safe and satisfactory manner.
- The Contractor shall have the paint present an "on-site" 6"x6" paint color mockup of all specified points to the Designer and Owner for approval.

ABBREVIATIONS

A	and	C	concrete masonry	F	floor	L	low voltage	Q	quarry tile
&	and	CMU	concrete masonry	FL	floor	LVR	louver	QT	quarry tile
@	unit	CONT	continuous	FLUOR	fluorescent	LVRD	louvered	QTY	quantity
ABV	above	CU	cubic	FUT	future			QUAL	quality
A/C	air conditioning	CSK	countersink	G	gauge	M	manufactured	R	reference
ACST	acoustic	CT	ceramic tile	GA	gauge	MFD	manufactured	REF	reference
ACT	acoustic ceiling tile	CTR	center	GALV	galvanized	MFG	manufacturer	REINF	reinforce
ACU	a/c unit	CU	cubic	GL	grade	MFR	manufacturer	REQD	required
ADJ	adjacent, adjustable	CUR	current	GR	grade	MATL	material	RESIL	resilient
AFF	above finish floor	D	deep	GRAN.	granite	MAX	maximum	RM	room
AL	aluminum	D	deep	GWB	gypsum wall board	MECH	mechanical	S	schedule
ALT	alternate	DET	detail	GYP.	gypsum	MIN	minimum	SCHED	schedule
AP	access panel	DIA	diameter	H	hardware	MISC	miscellaneous	SECT	section
APPROX	approximately	DF	drinking fountain	HDW	hardware	MRK	mark	SH	sheet
ARCH	architecture	DIM	dimension	HDWL	headwall	MTRD	mounted	SPEC	specification
ASPH	asphalt	DN	down	HGT	height	MTL	metal	S/S	stainless steel
AUTO	automatic	DP	depth	HORIZ	horizontal	MSRY	masonry	STOR	storage
		DR	door			MULL	mullion	STYL	steel
		DWG	drawing	I	inch	STRL	structural	SV	sheet vinyl
B	board	IN	inch	INCAND	incandescent	SW	switch	T	tempered
B.D.	below finish floor	EA	each	INCL	include	TEL	telephone	TEMP	tempered
B.F.F.	below finish floor	EL	elevation	INSUL	insulation	THK	thick	THRU	through
BLDG	building	ELEC	electric	INTR	interior	TYP	typical		
BLK	blocking	ELEV	elevator			OC	on center		
BM	beam	ENGR	engineer	J	joint	OPNG	opening		
B.M.	bench mark	ENTR	entrance	JST	joint	OPP	opposite		
BOT	bottom	EQ	equipment	JB	junction box	OVD	overhead		
BRK	brick	EQPT	equipment	JC	janitor closet	UTIL	utility		
BRKT	bracket	EXH	exhaust	K	kick plate				
BSMT	basement	EXT	exterior	K. PL.	kick plate				
BTU	british thermal unit			KIT	kitchen				
B/W	between					P	phase		
C	cabinet					PH	phase		
CAB.	cabinet					PL	plastic laminate		
CFCI	contractor furnished, contractor installed					PLS	plaster		
	corner guard	F	floor drain	L	label	PLYWD	plywood		
CG	channel	FD	floor drain	LBL	label	PNL	panel		
CHAN	channel	FE	fire extinguisher	LAM	laminated	POL	polished		
CKT	circuit	FE	fire extinguisher	LAV	lavatory	PTD	painted		
CLG	ceiling	FEC	fire extinguisher	LG	length, long	PVC	polyvinyl chloride		
CLO	closet	FF	finish floor	LT	lighting				
CLR	clear	FIN	finish						

PROJECT DESCRIPTION:

ADDING ADDITION TO EXISTING SPACE AND RENOVATING INTERIOR TO SUIT NEEDS OF NEW TENANT.

BUILDING CODE INFORMATION:

GOVERNING CODES AND GUIDELINES:	VIRGINIA UNIFORM STATEWIDE BUILDING CODE 2012
ACCESSIBILITY CODES AND GUIDELINES:	CHAPTER 11 OF 2012 IBC (ICC/ANSI A117.1-2009 OFFICE BUILDING GROUP B BUSINESS 100 GROSS SF/ OCCUPANT
FUNCTION OF SPACE (TABLE 1004.1.2):	
TENANT USABLE SQ. FT.:	3,478 SQ. FT.
OCCUPANCY LOAD:	35
TYPE OF CONSTRUCTION:	TYPE V - 1 HOUR
HEIGHT OF BUILDING:	24'-7 3/4"
GROSS BUILDING SQUARE FEET:	4,473 SQ. FT.
INTERIOR FINISH REQUIREMENTS (TABLE 803.9):	
REQUIRED EXIT ENCLOSURE & PASSAGEWAYS	B
CORRIDORS	C
ROOM & ENCLOSED SPACES	C
MAXIMUM EXIT ACCESS TRAVEL DISTANCE (TABLE 1016.2)	200 FT.
MAXIMUM LENGTH OF COMMON PATH OF EGRESS TRAVEL (1014.3)	75 FT.
FIRE PROTECTION:	NON-SPRINKLED
FIRE RESISTIVE ELEMENTS (TABLE 601):	
EXIT ENCLOSURES (1022.2)	1 HOUR
EXIT CORRIDORS (1018.1)	1 HOUR
INTERIOR BEARING WALLS, COLUMNS	0 HOUR
FLOOR CONSTRUCTION	0 HOUR

LIST OF DRAWINGS:

- IA1.0 GENERAL NOTES/ BUILDING CODE INFORMATION/ LIST OF DRAWINGS/ PROJECT DESCRIPTION/ DESCRIPTION OF ABBREVIATIONS**
- PP1.1 PLOT PLAN**
- IA1.1 LIFE SAFETY & KEY PLANS/ LOCATION MAP/ DETAILS/ PARTITION TYPES/ TYP. TOILET ELEVATIONS & FIXTURES/ACCESSORIES KEY/TYP. MOUNTING HEIGHTS**
- IA1.2 DEMOLITION PLAN AND NOTES/ LEGEND/ CONSTRUCTION NOTES**
- IA1.3 PARTITION PLAN AND NOTES/ LEGEND/ PLUMBING NOTES/ ELECTRICAL PLAN AND NOTES**
- IA1.4 FINISH PLAN AND NOTES/ LEGEND**
- IA1.5 DOOR SCHEDULE AND TYPES/ DOOR NOTES/ LIGHT FIXTURE SCHEDULE/ CHAIR RAIL PROFILE AND TYP. DETAIL/ FINISH KEY AND SCHEDULE**
- IA2.1 REFLECTED CEILING PLAN AND NOTES/ LEGEND/ HVAC AND MECHANICAL NOTES**
- IA3.1 EXTERIOR ELEVATIONS**

PRICING SET

job number

16-008

ALLEN, ALLEN, ALLEN & ALLEN LAW OFFICE

**6109 BRASHER BLVD.
MECHANICSVILLE, VA**

sheet title

GENERAL NOTES/ BUILDING CODE INFORMATION/ LIST OF DRAWINGS/ PROJECT DESCRIPTION/ DESCRIPTION OF ABBREVIATIONS

drawn by

file name

C.FLETCHER 16-008_100.DWG

CERT # N/A

checked by

C.PALMORE

CERT # 0412-000216

revision

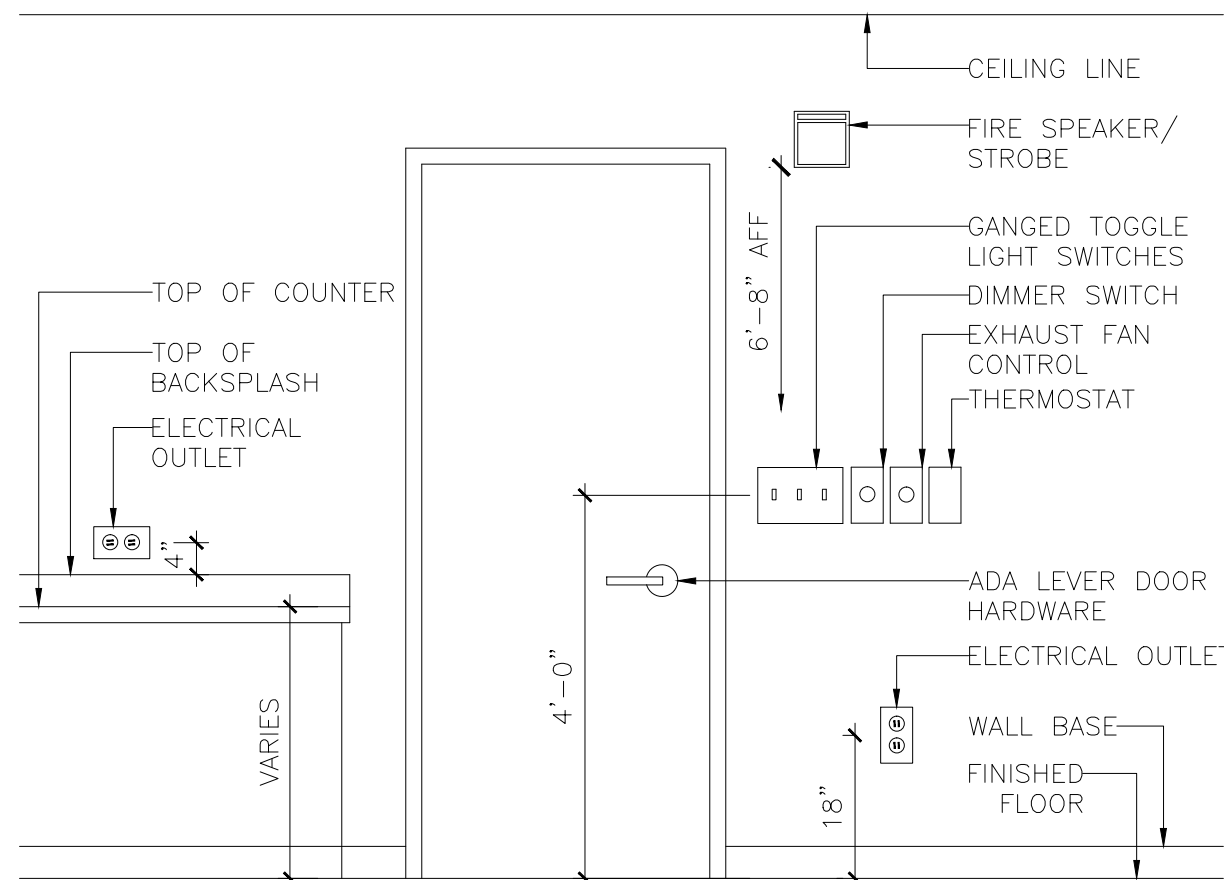
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IA1.0

DETAILS:



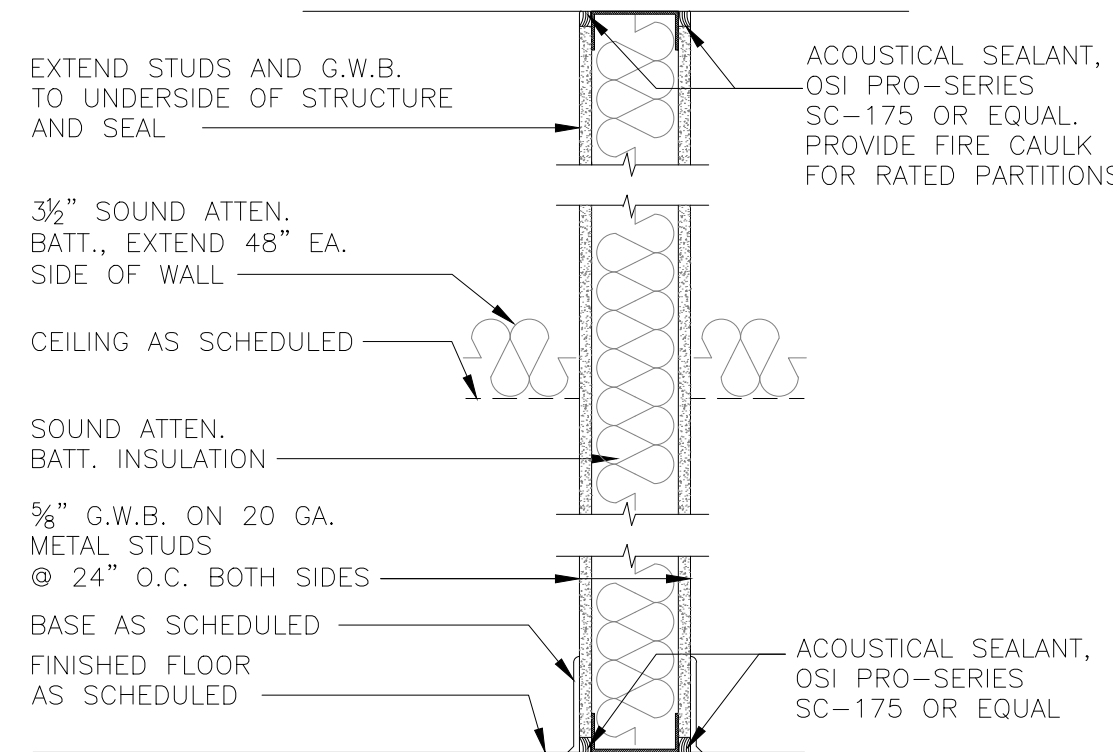
1/IA1.1 TYPICAL MOUNTING HEIGHTS

SCALE: 1/2" = 1'-0"

PARTITION TYPES/ SPECIFICATIONS:

- **SOUND ATTENUATION BATT INSULATION NOTES: (FOR ALL WALL TYPES THAT REQUIRE SOUND ATTENUATION INSULATION)
- CONTRACTOR SHALL USE UNFACED GLASS -FIBER BLANKET INSULATION, MINIMUM 3 1/2" - 4" THICK, MINIMUM WIDTH OF 24"
 - FINISHED PARTITION SHALL HAVE A MINIMUM STC RATING OF 50.
 - MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS; PROVIDE FROM ONE OF THE FOLLOWING: (OR SUBMIT EQUAL SPECIFICATION FOR FOR REVIEW BY HUMMEL ASSOCIATES)
 - CERTAINTEED: CERTA PRO ACOUSTATHERM BATT
 - KNAUF: QUIET THERM ACOUSTICAL/THERMAL BATT INSULATION
 - UNFACED, GLASS FIBER BLANKET INSULATION: ASTM C 665, TYPE 1 (BLANKETS WITHOUT MEMBRANE FACING); CONSISTING OF FIBERS; WITH MAXIMUM FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF 25 AND 50, RESPECTIVELY; PASSING ASTM E 136 FOR COMBUSTION CHARACTERISTICS.
 - INSULATION TO BE INSTALLED 48" MINIMUM FROM EACH SIDE OF WALL ABOVE CEILING.

PARTITION TYPES:



PARTITION TYPE "C"

SCALE: 1 1/2" = 1'-0"
NON-RATED 3 5/8" METAL STUD PARTITION W/ SOUND INSULATION DECK TO DECK; (1) LAYER GYP BD EACH SIDE

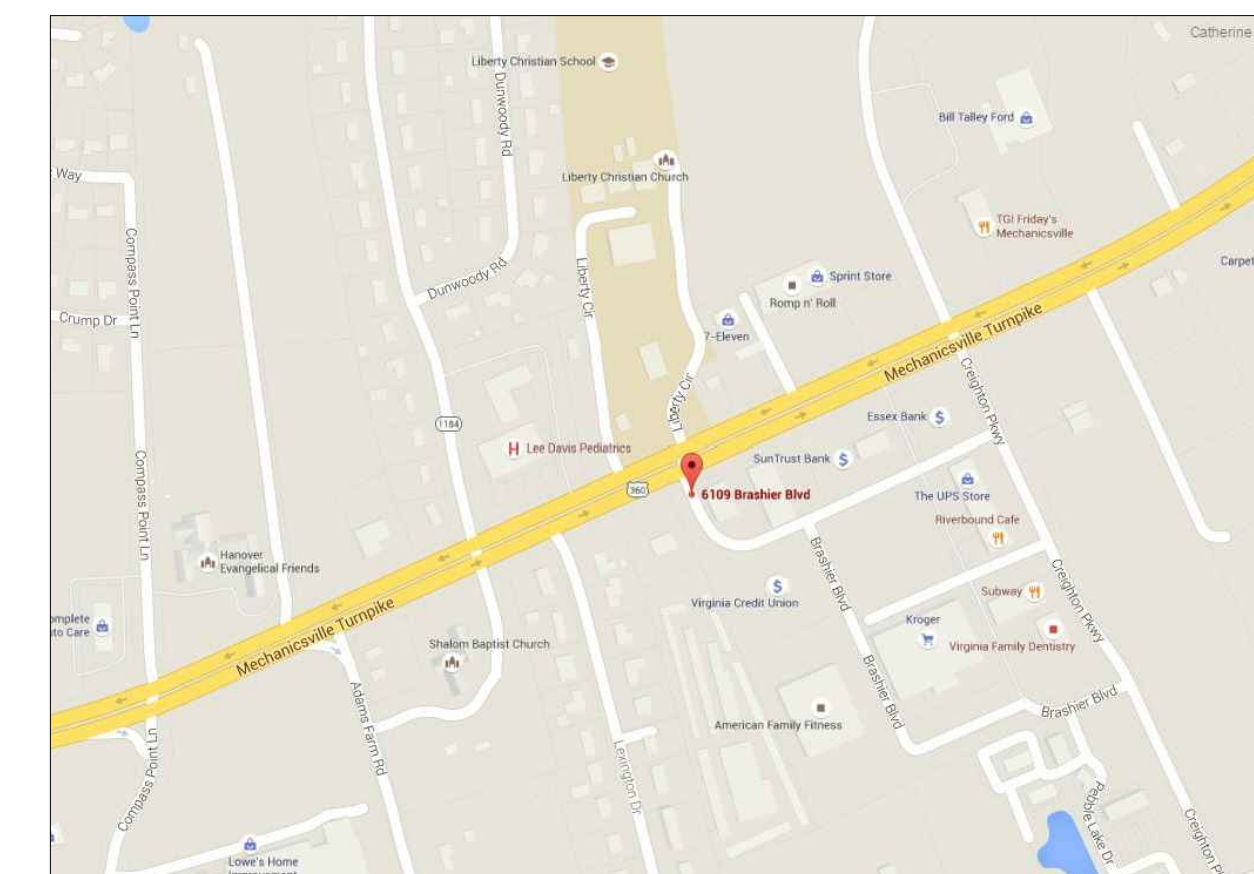


- PARTITION TYPE**
- NOMINAL WIDTH**
- FIRE OR SMOKE RATING
(A) NON-RATED PARTITION
(B) NO-RATED SMOKE RESISTIVE PARTITION
(C) 1 HR FIRE BARRIER
(D) 1 HR SMOKE COMPARTMENT BARRIER
(E) 2 HR FIRE BARRIER
(F) 2 HR SMOKE COMPARTMENT BARRIER
(G) 3 HR FIRE BARRIER
(H) 3 HR SMOKE COMPARTMENT BARRIER

- PARTITION TYPE**
- A= METAL STUD PARTITION W/ SOUND INSULATION; DECK TO DECK; (1) LAYER GYP BD EACH SIDE
B= METAL STUD PARTITION W/ SOUND INSULATION; DECK TO DECK; (2) LAYERS GYP BD EACH SIDE
C= METAL STUD CHASE PARTITION W/ SOUND INSULATION TO ROOM FINISHED SIDE; DECK TO DECK;
(1) LAYERS GYP BD EACH SIDE
D= METAL STUD PARTITION W/ SOUND INSULATION; 6" ABOVE CEILING; (1) LAYER GYP BD EACH SIDE
E= METAL STUD PARTITION W/ SOUND INSULATION; PARTIAL HEIGHT UP TO FINISHED CEILING;
(1) LAYER GYP BD EACH SIDE
F= METAL STUD FURRING; DECK TO DECK; (1) LAYER GYP BD ON FINISH SIDE
G= METAL STUD FURRING; PARTIAL HEIGHT 6" ABOVE CEILING; (1) LAYER OF GYP ON FINISH FACE
L= METAL STUD PARTITION W/ SOUND INSULATION DECK TO DECK;
(1) LAYER LEAD LINED GYP BD ON FINISH SIDE 'A'; (1) LAYER GYP BD ON FINISH SIDE 'B'
M= CMU; DECK TO DECK
N= CMU; PARTIAL HEIGHT; 6" ABOVE CEILING
P= METAL STUD W/ STEEL ANGLE POST AND TOP CAP; PARTIAL HEIGHT; BELOW CEILING;
(1) LAYER GYP BD EACH SIDE
S= C-H METAL STUD SHAFT PARTITION; DECK TO DECK; (1) LAYER GYP BD ROOM FINISHE SIDE,
(1) LAYER 1" SHAFT LINER SHAFT UNFINISHED SIDE. (PER BUILDING ARCHITECT'S PLANS)
T= C-H METAL STUD shaft PARTITION; DECK TO DECK; (2) LAYERS GYP BD ROOM FINISHE SIDE,
(1) LAYER 1" SHAFT LINER SHAFT UNFINISHED SIDE. (PER BUILDING ARCHITECT'S PLANS)
U= METAL STUD PARTITION W/SOUND INSULATION; DECK TO DECK; (2) LAYERS GYP BD ROOM FINISH SIDE,
(1) LAYER GYP BD HALL (OR CORRIDOR) SIDE
W= WOOD STUD PARTITION W/ SOUND INSULATION; DECK TO DECK; (1) LAYER GYP BD EACH SIDE
X= WOOD STUD PARTITION W/ SOUND INSULATION; DECK TO DECK; (2) LAYERS GYP BD EACH SIDE
Y= WOOD STUD PARTITION W/ SOUND INSULATION; 6" ABOVE CEILING; (1) LAYER GYP BD EACH SIDE
Z= WOOD STUD PARTITION W/ SOUND INSULATION; PARTIAL HEIGHT UP TO FINISHED CEILING;
(1) LAYER GYP BD EACH SIDE

NOMINAL WIDTH SCHEDULE				
WIDTH	#	METAL STUD	WOOD STUD	CMU
0--99"	0	N/A	N/A	N/A
1"-1.99"	1	3/8"	N/A	N/A
2"-2.99"	2	1 3/8"	N/A	N/A
3"-3.99"	3	2 1/2"	N/A	N/A
4"-4.99"	4	3 5/8"	3 1/2"	3 5/8"
5"-5.99"	5	4"	N/A	N/A
6"-6.99"	6	6"	5 1/2"	5 5/8"
7"-7.99"	7	N/A	N/A	N/A
8"-8.99"	8	N/A	7 1/2"	7 5/8"
9"-9.99"	9	N/A	N/A	N/A
10"-10.99"	10	N/A	N/A	9 5/8"
11"-11.99"	11	N/A	N/A	N/A
12"-12.99"	12	N/A	N/A	11 5/8"

LOCATION MAP:
N.T.S.



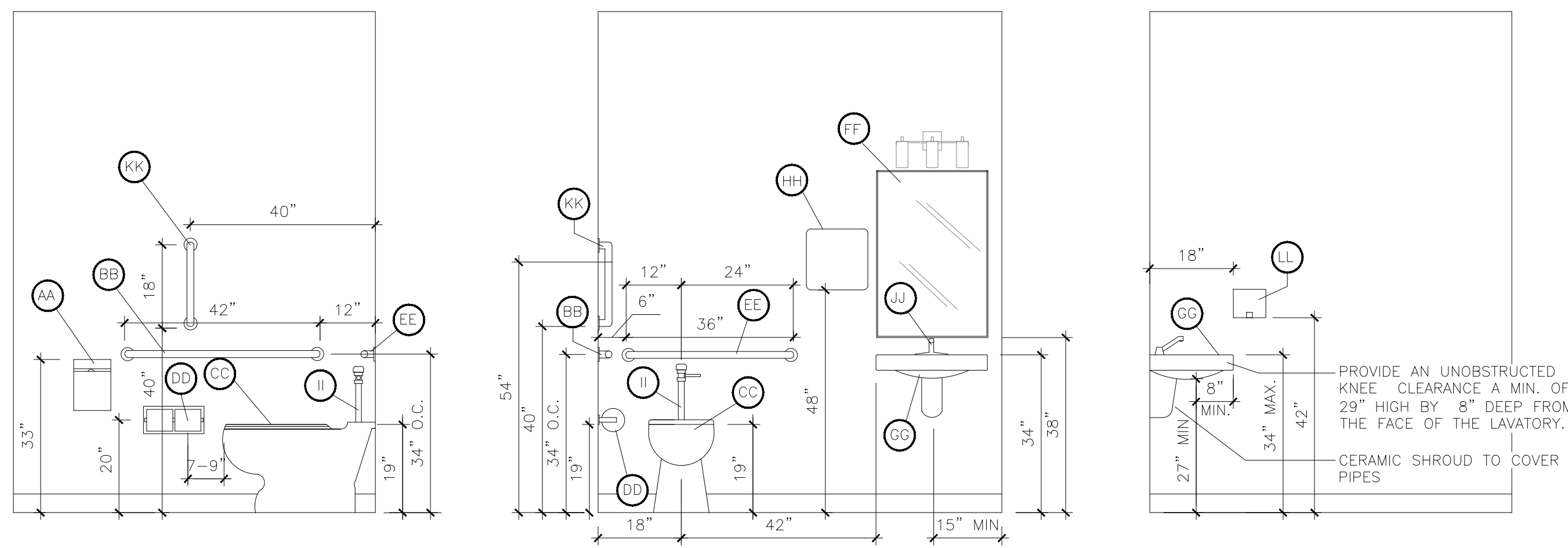
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**6109 BRASHIER BLVD.
MECHANICSVILLE, VA**

TOILET FIXTURE AND ACCESSORY KEY

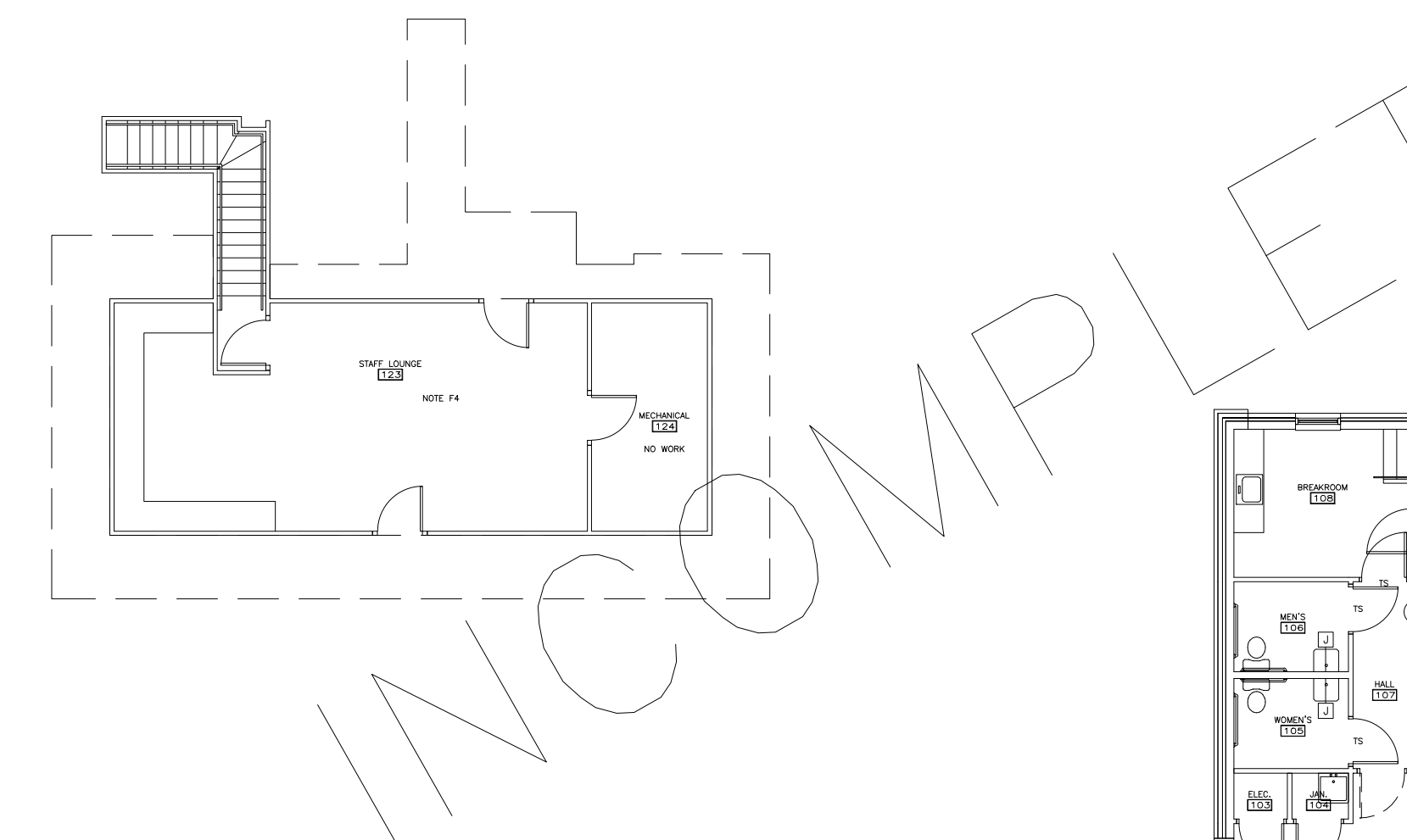
KEY	DESCRIPTION	MANUFACTURER	MODEL NO.	FINISH	REMARKS
AA	SURFACE MOUNTED FEMININE NAPKIN DISPOSAL	BOBRICK OR EQUAL	CONTURA SERIES B-270	SATIN FINISH S/S	ALL SINGLE USE TOILETS
BB	42" WIDE GRAB BAR	BOBRICK OR EQUAL	B-5806.99 X 42	SATIN FINISH S/S	ALL SINGLE USE TOILETS, WITH PEENED GRIPPING SURFACE
CC	ADA WATER CLOSET	KOHLER	PINOIR K-3482-0	WHITE VITREOUS CHINA	CHROME TRIP LEVER, PRESSURE ASSISTED
DD	SURFACE MOUNTED SINGLE TOILET PAPER DISPENSER	BOBRICK OR EQUAL	B-69997	SATIN FINISH S/S	ALL SINGLE USE TOILETS
EE	36" WIDE GRAB BAR	BOBRICK OR EQUAL	B-5806.99 X 36	SATIN FINISH S/S	ALL SINGLE USE TOILETS, WITH PEENED GRIPPING SURFACE
FF	SURFACE MOUNTED MIRROR, 24"W x 36"H	TBD	TBD	TBD	TBD
GG	ADA WALL HUNG LAVATORY	KOHLER	PINOIR K-2035-1-0	WHITE VITREOUS CHINA	ALL SINGLE USE TOILETS, WITH CERAMIC SHROUD
HH	SURFACE MOUNTED PAPER TOWEL DISPENSER	BOBRICK OR EQUAL	CONTURA SERIES, B-4262	SATIN FINISH S/S	ALL SINKS, USE PETITE DISPENSER AT CASEWORK INSTALLATIONS
II	WALL SCONCE	---	---	---	SEE SHEET 2.1 FOR SPECS
JJ	LAVATORY FAUCET	KOHLER	CORALAIS K-15241-4-G	BRUSHED CHROME	CENTERSET LAVATORY FAUCET W/ LEVER HANDLES, ALL SINGLE USE TOILETS
KK	18" WIDE GRAB BAR	BOBRICK	B-5806.99X18	SATIN FINISH S/S	ALL SINGLE USE TOILETS, WITH PEENED GRIPPING SURFACE

TOILET NOTE:
T1. TOILET AND BATHING ROOM FLOORS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALLS NOT LESS THAN 4" ((BC 1210.2.1 FLOORS).



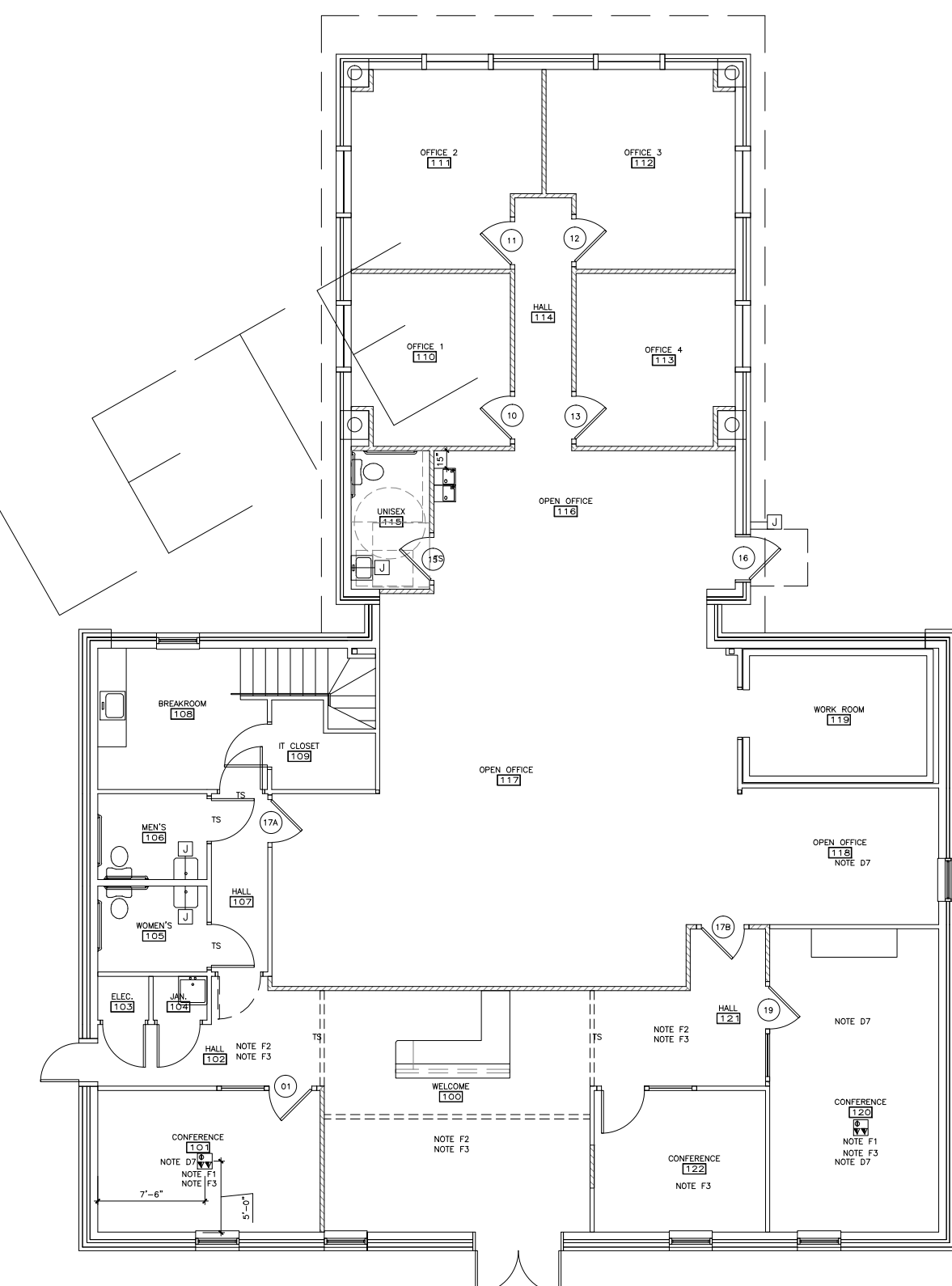
TYPICAL TOILET ELEVATIONS

SCALE: 1/2"=1'-0"



LIFE SAFETY PLAN:
N.T.S.

NOTE: DISTANCES SHOWN ARE EXIT ACCESS TRAVEL DISTANCES. ALL COMMON PATHS OF EGRESS TRAVEL ARE LESS THAN XXX'.



**LIFE SAFETY & KEY PLANS/
LOCATION MAP/ DETAILS/
PARTITION TYPES/ TYP. TOILET
ELEVATIONS &
FIXTURES/ACCESSORIES KEY/TYP.
MOUNTING HEIGHTS**

drawn by: C.FLETCHER
CERT # N/A
checked by: C.PALMORE
CERT # 0412-000216
revision:



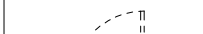

date: 04/08/2016

sheet number: **IA1.1**

PRICING SET

job number: 16-008

LEGEND

-  EXISTING PARTITION TO REMAIN
-  EXISTING PARTITION TO BE REMOVED
-  EXISTING DOOR TO BE REMOVED AND REUSED IF POSSIBLE
-  EXISTING DOOR TO REMAIN

DEMOLITION NOTES:

- GENERAL:
- REMOVE CARPET, PAD AND WALL BASE. PREP FLOOR AS NECESSARY TO RECEIVE NEW FLOORING. WALL BASE TO BE REUSED IN AREAS NOTED. CARPET TILE TO BE REUSED INSTALLED IN ATTIC SPACE.
 - REUSE EXISTING DOORS, FRAMES AND SIDELITES AND RELOCATE WHERE NOTED ON PARTITION PLAN. REPLACE DOORS WITH EXCESSIVE NICKS AND GOUGES.
 - WHERE EXISTING ELECTRICAL IS NOT SHOWN FOR REUSE, CONTRACTOR TO REMOVE DEVICES AND WIRING. CONTRACTOR SHALL MAINTAIN CIRCUIT INTEGRITY FOR ALL DEVICES NOT WITHIN AREA BEING DEMOLISHED.
 - GENERAL CONTRACTOR TO COORDINATE REMOVAL OF ALL UNUSED CABLES/WIRES IN PLENUM.
 - CONTRACTOR TO SALVAGE AND REUSE ALL CHAIR RAILS, WALL BASE AND MOLDINGS TO MATCH WHERE NEEDED IN NEW CONFERENCE ROOMS, WELCOME AREA AND FRONT CORRIDORS
 - CONTRACTOR TO SALVAGE AND REUSE CEILING TILES AND LIGHTING FIXTURES. SEE IA2.1 FOR REUSE AND LIGHTING LOCATIONS.
 - CONTRACTOR TO VERIFY IF NEW TILE CAN BE APPLIED ON TOP OF EXISTING TILE.
 - REMOVE ALL SWITCH AND OUTLET COVER PLATES.
 - REMOVE ALL WALL MOUNTED ACCESSORIES & HARDWARE. PATCH & REPAIR WALL AS NEEDED TO RECEIVE NEW FINISHES SPECIFIED.

SPECIFIC:

- D1. CONTRACTOR TO REMOVE CASEWORK, CONDUIT, ELECTRICAL AND SWITCHES. PATCH AND REPAIR WALLS AND FLOORS AS NECESSARY TO RECEIVE NEW FINISHES.
- D2. DEMO WALL, WINDOW, ELECTRICAL, SWITCHES, AND ACCESSORIES TO ALLOW FOR NEW OPENING TO ADDITION. MAINTAIN STRUCTURAL INTEGRITY AND PATCH AND REPAIR AS NECESSARY TO RECEIVE NEW FINISHES.
- D3. CONTRACTOR TO DEMO DRIVE THROUGH CONSTRUCTION, LIGHTING AND ACCESSORIES OUTSIDE OF STRUCTURAL INTEGRITY OF ROOF. MAINTAIN STRUCTURAL INTEGRITY AND RELOCATE DOWNSPOUTS PER NEW CONSTRUCTION.
- D4. REMOVE AND DISPOSE VAULT DOOR.
- D5. REMOVE AND RELOCATE WATER FOUNTAIN TO NEW LOCATION NOTED ON PARTITION PLAN. CAP PLUMBING AT NEAREST CONCEALED UNION.
- D6. DEMO SOFFIT.
- D7. REMOVE WALLCOVERING AND MASTIC BACK TO SMOOTH AND LEVEL SURFACE. PATCH AND REPAIR WALL AS NECESSARY TO RECEIVE NEW FINISHES.
- D8. CONTRACTOR TO REMOVE CASEWORK AND RELOCATE TO CONFERENCE 119. CONTRACTOR TO ADD NEW TOP TO MATCH DOOR FINISH. ADD SIDE PANELS MATCHING DOOR FINISH AND ADD NEW HARDWARE; 4" CENTERS, SPEC: TBD. BUDGET \$5 PER HARDWARE.
- D9. PATCH AND REPAIR WALL AS NECESSARY TO RECEIVE NEW FINISHES.
- D10. DEMO WALL TO ALLOW FOR NEW DOOR.
- D11. DEMO DOOR, FRAME TO REMAIN. PROVIDE AND INSTALL HINGE FILLER PLATE.

CONSTRUCTION NOTES:

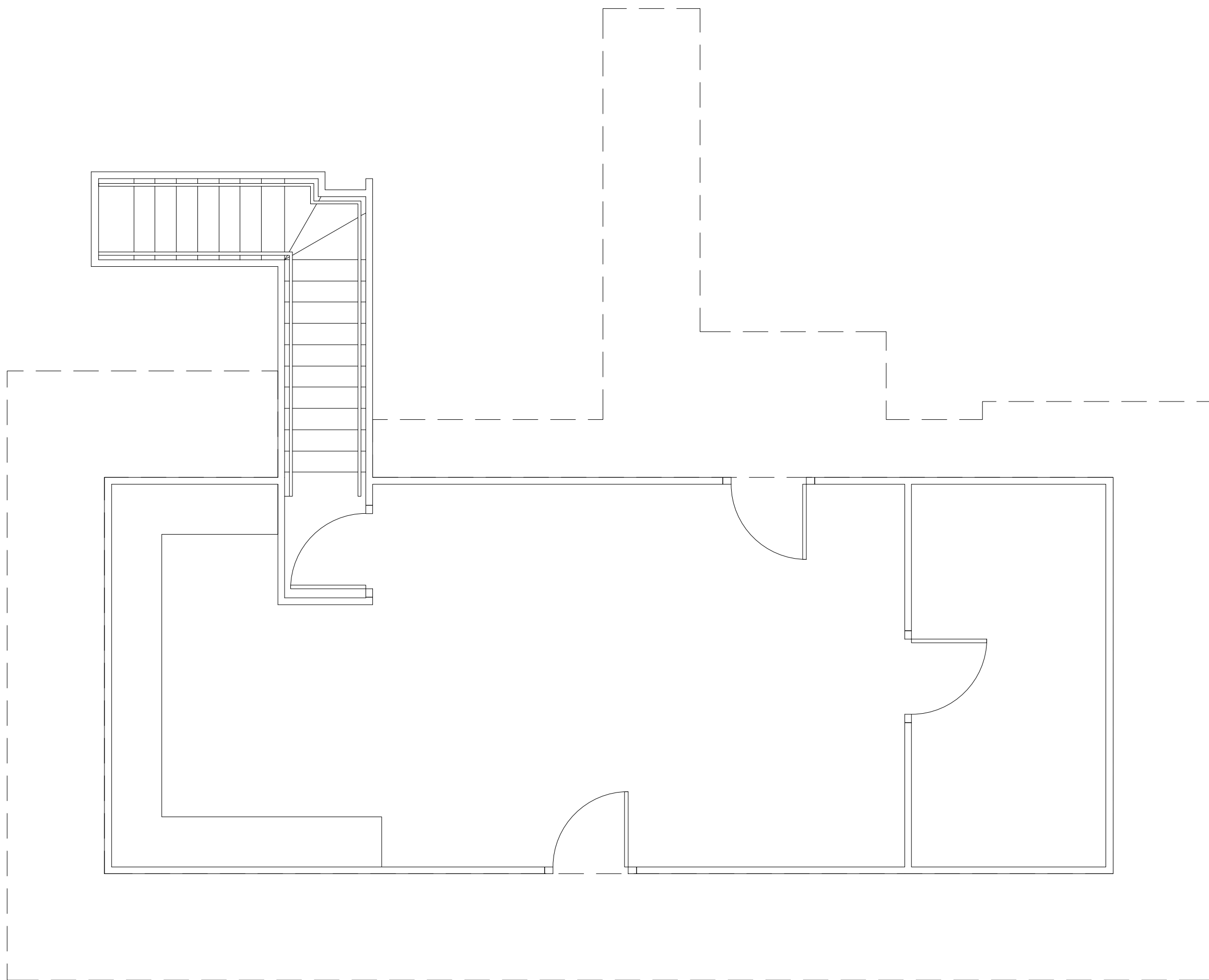
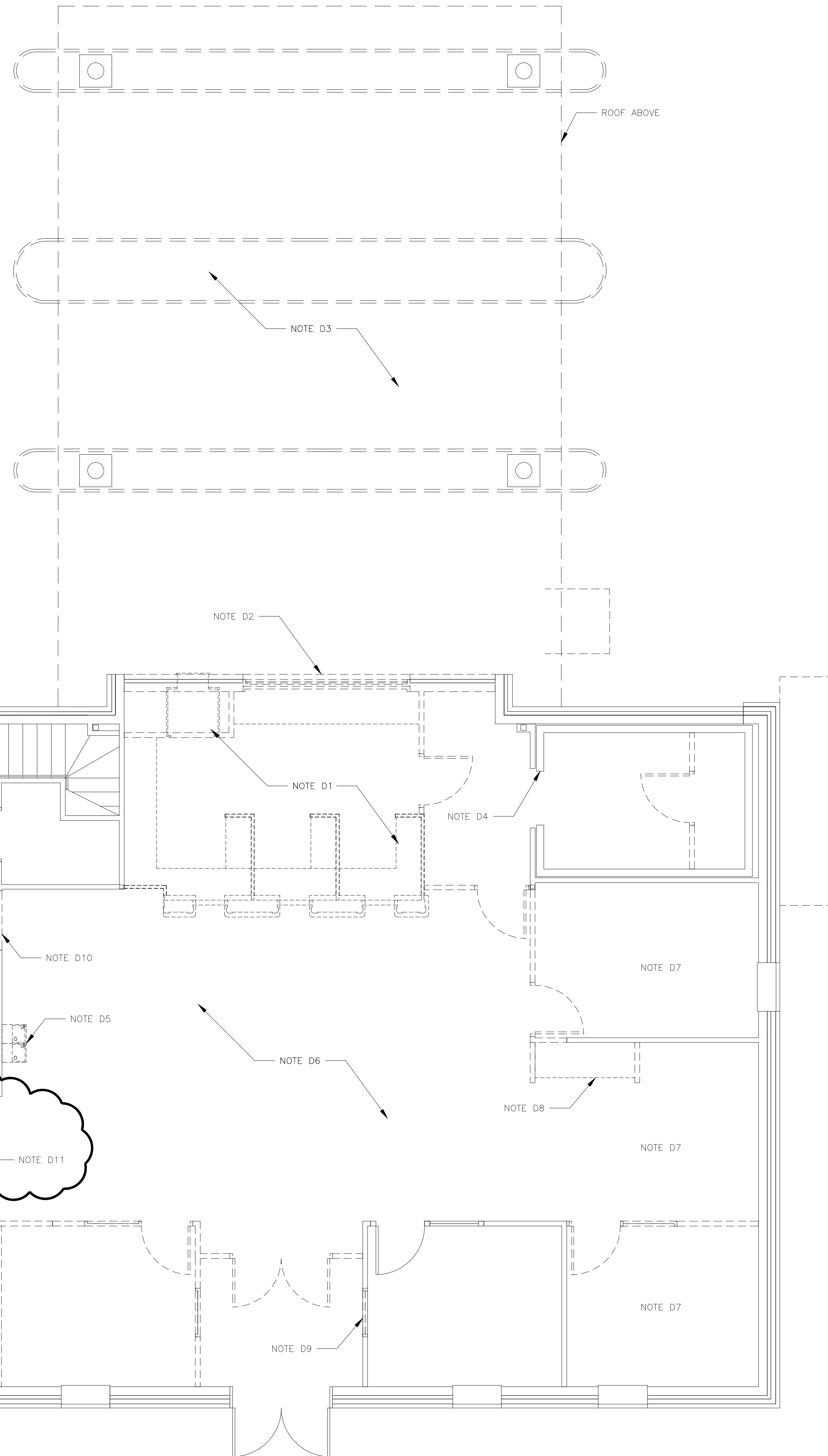
- GENERAL:
- CONTRACTOR TO PROTECT EXISTING FINISHES TO REMAIN WITHIN AREA OF WORK. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE.
 - CONTRACTOR TO COORDINATE WITH LANDLORD VENDOR: VECTOR ON SECURITY FOR BUILDING.

EXTERIOR PRICING NOTES:

- GENERAL:
- GOAL FOR EXTERIOR WORK IS TO HAVE THE LEAST LAND DISTURBANCE AS POSSIBLE.
 - PROVIDE PRICING FOR EACH OF THE FOLLOWING EXTERIOR OPTIONS:
 1. MATCH EXTERIOR BRICK FACADE TO ADDITION, AS WELL MATCHING EXTERIOR WINDOW HEADER AND OTHER DETAILS.
 2. MATCH EXISTING BRICK UP TO HEIGHT OF EXISTING CAST STONE WATER TABLE AND ADD WHITE HARDI-PLANK ABOVE.
 3. INSTALL WHITE HARDI-PLANK FULL HEIGHT ON EXTERIOR FACADE.

ADDITIONAL SITE NOTES:

- GENERAL:
- ADD CONCRETE PAD AND FENCING AROUND EXISTING HVAC UNITS, FOR ADDITIONAL HVAC UNIT AND TRASH BINS.
 - BUDGET FOUNDATION FOR NEW MONUMENT SIGN THAT WILL REPLACE EXISTING SIGN.



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**6109 BRASHIER BLVD.
 MECHANICSVILLE, VA**

sheet title
**DEMOLITION PLAN AND
 NOTES/ CONSTRUCTION
 NOTES/ LEGEND**

drawn by
C.FLETCHER
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DEMOLITION PLAN
 SCALE: 1/4"=1'-0"
 PROJECT NORTH



LEGEND

	EXISTING PARTITION TO REMAIN		DUPLEX RECEPTACLE (E=EXISTING)
	NEW INTERIOR PARTITION "C"		DEDICATED RECEPTACLE (E=EXISTING)
	ALL NEW WALLS TO BE TYPE "C4A"		QUADRUPLEX RECEPTACLE (E=EXISTING)
	NEW BUILDING STANDARD DOOR		GFI GROUND FAULT INTERRUPT RECEPTACLE (E=EXISTING)
	EXISTING DOOR TO REMAIN		TEL./DATA STUB-UP (E=EXISTING)
	ROOM NUMBER		JUNCTION BOX AT XX AFF
	DOOR NUMBER		FLOOR BOX

PARTITION NOTES:

- GENERAL:
- PROVIDE FIRE-TREATED SUPPORT BLOCKING IN WALL FOR ALL WALL HUNG UNITS.
 - ALL MECHANICAL, ELECTRICAL, & PLUMBING PENETRATIONS SHALL COMPLY WITH ASTM E814, FIRE-STOPPING DETAILS PER SECTION 714, IBC 2012.
 - CONTROL JOINTS TO BE EMPLOYED IN LONG EXPANSIONS OF PARTITIONS AT 30' INTERVALS, FROM FLOOR TO CEILING. FOR REQUIREMENTS, CONTRACTOR TO REFER TO ASTM C 840: THE STANDARD SPECIFICATION FOR APPLICATION AND FINISHING OF GYPSUM BOARD.
 - IN NEW RESTROOM CONTRACTOR TO PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM BOARD.
 - WRAP COLUMNS TIGHT WITH DRYWALL.
 - PROVIDE AND INSTALL CORNER GUARDS AT ALL EXPOSED CORNERS IN CORRIDORS. CORNER GUARDS TO BE: 8'H CLEAR W/ 3/4" WING SIZE AND NAIL-IN INSTALL.
 - CONTRACTOR TO PROVIDE INSTALL MATCHING BLINDS IN NEW OFFICES.
 - CONTRACTOR TO VERIFY IF EXISTING WALLS GO TO DECK.
 - EXTERIOR TO BE RE-CAULKED AND CLEANED.

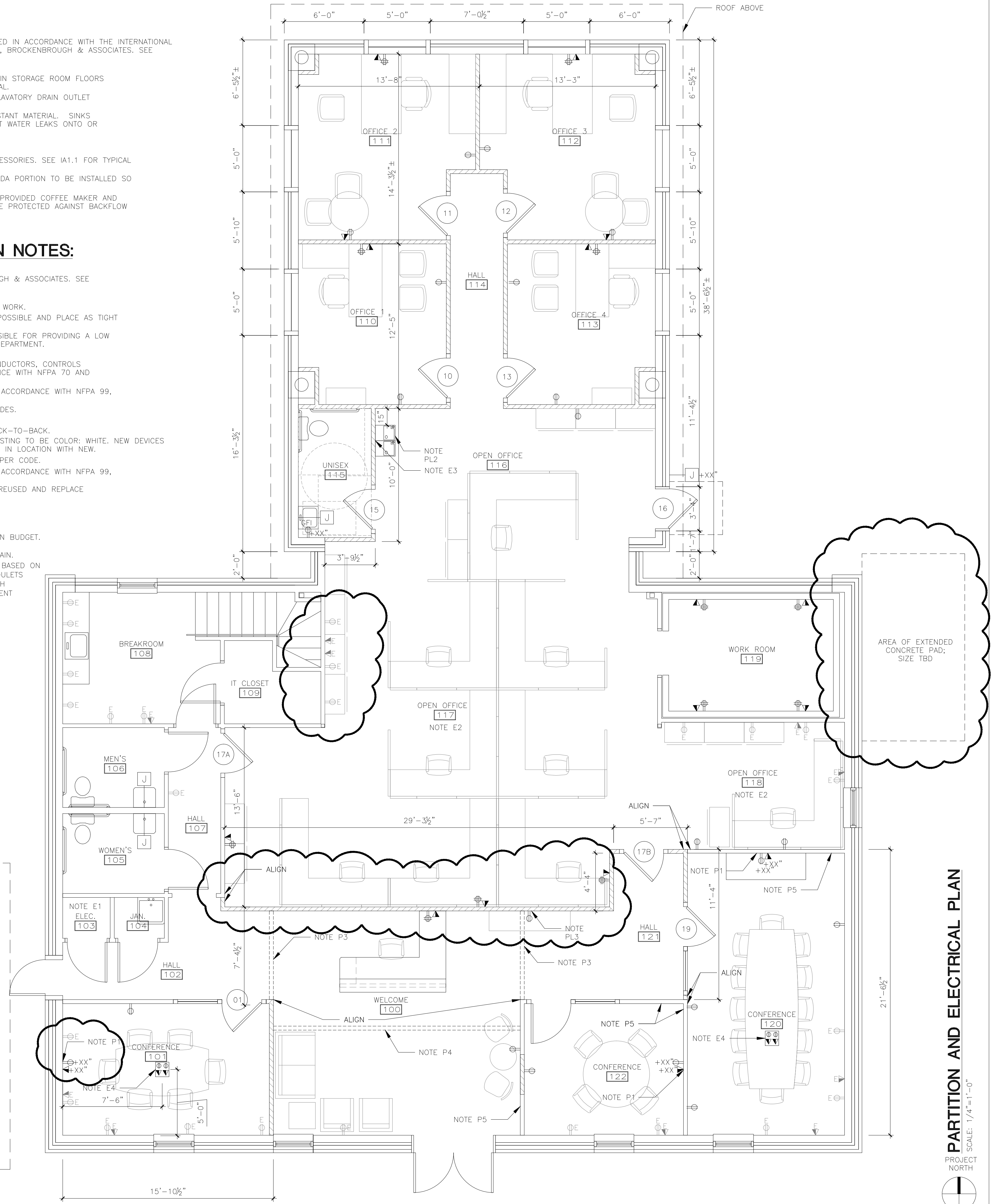
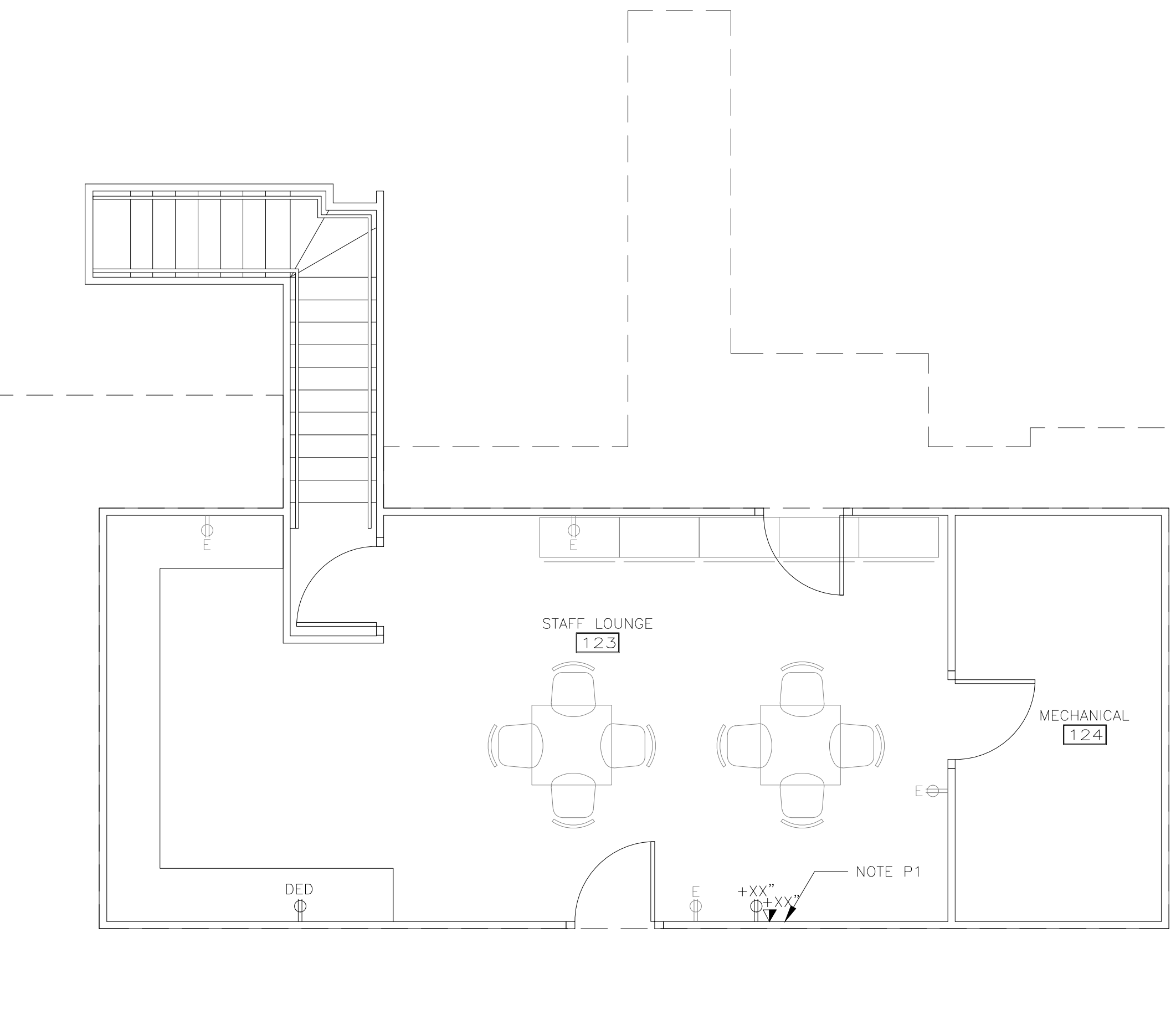
- SPECIFIC:
- PROVIDE AND INSTALL SUPPORT BLOCKING IN WALL FOR TENANT-PROVIDED T.V. SIZE: TBD. EXACT HEIGHT TBD.
 - PROVIDE & INSTALL S/S RECESSED FIRE EXTINGUISHER CABINET, LARSEN ARCHITECTURAL SERIES AL-2409-5R, FULL PANEL FRONT, SEMI-RECESSED SQUARE TRIM. WHITE, TYPE A DIE CUT LETTERING. ROUGH OPENING 25"Hx10 1/2"Wx4"D. TOP OF CABINET TO BE 48" AFF. LOCATION: TBD.
 - CONSTRUCT 6"H HEADER TO DIVIDE SPACE, HEADER TO BE TYP. WALL WIDTH.
 - DRYWALL CEILING HEIGHT IN VESTIBULE TO REMAIN. LEAVE DRYWALL HEADER WHERE VESTIBULE WALL IS BEING REMOVED. EXACT HEIGHT OF HEADER TBD BASED ON DIFFERENCE IN CEILING HEIGHTS. EXTEND HEADER TO NEW WALL AS SHOWN.
 - BLOW INSULATION INTO EXISTING WALLS.

PLUMBING NOTES:

- GENERAL:
- ALL PLUMBING SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE. PLUMBING TO BE ENGINEERED BY AUSTIN, BROCKENBROUGH & ASSOCIATES. SEE ENGINEERED DRAWINGS FOR PLUMBING INFO.
 - WATER PRESSURE AT THE FIXTURE SHALL BE REGULATED.
 - NEW PLUMBING CLEANOUTS TO BE LOCATED IN WALLS OR IN STORAGE ROOM FLOORS ONLY. PROVIDE LOCATION PLAN TO DESIGNER FOR APPROVAL.
 - RESTROOM SINKS TO HAVE CHROME PLATED CAST BRASS LAVATORY DRAIN OUTLET FITTING WITH PERFORATED GRID: ELKAY LK174, OR EQUAL.
 - SINKS ARE TO BE OF A NON-ABSORPTIVE AND ACID-RESISTANT MATERIAL. SINKS SHALL HAVE WELL-FITTED AND SEALED BASINS TO PREVENT WATER LEAKS ONTO OR INTO CABINETS AND WALL SPACES.
- SPECIFIC:
- PROVIDE AND INSTALL NEW PLUMBING FIXTURES AND ACCESSORIES. SEE IA1.1 FOR TYPICAL TOILET ELEVATIONS AND PLUMBING FIXTURE SCHEDULE.
 - REINSTALL WATER FOUNTAIN SALVAGED IN DEMO PHASE. ADA PORTION TO BE INSTALLED SO TOP OF SPOT IS 36" MAX.
 - PROVIDE AND INSTALL COPPER WATER LINE FOR TENANT-PROVIDED COFFEE MAKER AND WATER FILTER. THE WATER SUPPLY CONNECTION SHALL BE PROTECTED AGAINST BACKFLOW BY A BACKFLOW PREVENTER CONFORMING TO ASSE 1022.

ELECTRICAL/COMMUNICATION NOTES:

- GENERAL:
- ELECTRICAL TO BE ENGINEERED BY AUSTIN, BROCKENBROUGH & ASSOCIATES. SEE ENGINEERED DRAWINGS FOR ELECTRICAL INFO.
 - PROVIDE ELECTRICAL POWER TO JUNCTION BOX LOCATIONS.
 - CONTRACTOR TO VERIFY PANEL LOADS PRIOR TO STARTING WORK.
 - CONTRACTOR TO GANG ALL ELECTRICAL SWITCHES WHERE POSSIBLE AND PLACE AS TIGHT TO DOOR FRAMES AS POSSIBLE.
 - TENANT'S COMMUNICATIONS VENDOR INSTALLER IS RESPONSIBLE FOR PROVIDING A LOW VOLTAGE PERMIT IF REQUIRED BY BUILDING INSPECTIONS DEPARTMENT.
 - SEE TYPICAL MOUNTING HEIGHTS, SHEET IA1.1.
 - ALL ELECTRICAL MATERIAL AND EQUIPMENT, INCLUDING CONDUCTORS, CONTROLS AND SIGNALING DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH NFPA 70 AND NFPA 99.
 - EMERGENCY LIGHTING AND POWER SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 99, NFPA 101, NFPA110.
 - ELECTRICAL TO CONFORM TO ALL CURRENT ELECTRICAL CODES.
 - SEE CEILING PLAN FOR LIGHT SWITCH LOCATIONS.
 - ELECTRICAL OUTLETS TO BE STAGGERED SO NONE ARE BACK-TO-BACK.
 - ELECTRICAL AND LIGHT SWITCH COVERPLATES NEW AND EXISTING TO BE COLOR: WHITE. NEW DEVICES TO BE WHITE AND REPLACE EXISTING THAT DO NOT MATCH IN LOCATION WITH NEW.
 - ELECTRICAL OUTLETS WITHIN 6' OF SINKS ARE TO BE GFI PER CODE.
 - EMERGENCY LIGHTING AND POWER SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 99, NFPA 101, NFPA110.
 - CONTRACTOR TO WIPE DOWN ALL EXISTING LIGHTS TO BE REUSED AND REPLACE BULBS/BALLASTS AS NEEDED.
- SPECIFIC:
- ELECTRICAL PANEL LOCATION.
 - ELECTRICIAN TO WIRE CUBICLES. ADD (2) POWER POLES IN BUDGET. LOCATIONS TBD.
 - INSTALL REQUIRED GFI POWER SUPPLY FOR WATER FOUNTAIN.
 - VERIFY WITH RESOURCE ONE THE FLOOR BOX LOCATIONS BASED ON FURNITURE LAYOUT. FLOOR BOXES TO HAVE (4) POWER OULETS AND (4) DATA OULETS. CONTRACTOR TO COORDINATE WITH TENANT'S IT DEPT. FOR CABLE SIZES AND OTHER EQUIPMENT NEEDED.



SECOND STORY ATTIC PARTITION PLAN

SCALE: 1/4"=1'-0"

PARTITION AND ELECTRICAL PLAN
SCALE: 1/4"=1'-0"
PROJECT NORTH

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16-008

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**6109 BRASHIER BLVD.
MECHANICSVILLE, VA**

sheet title
**PARTITION PLAN AND
NOTES/ LEGEND/ PLUMBING
NOTES/ ELECTRICAL PLAN
AND NOTES**

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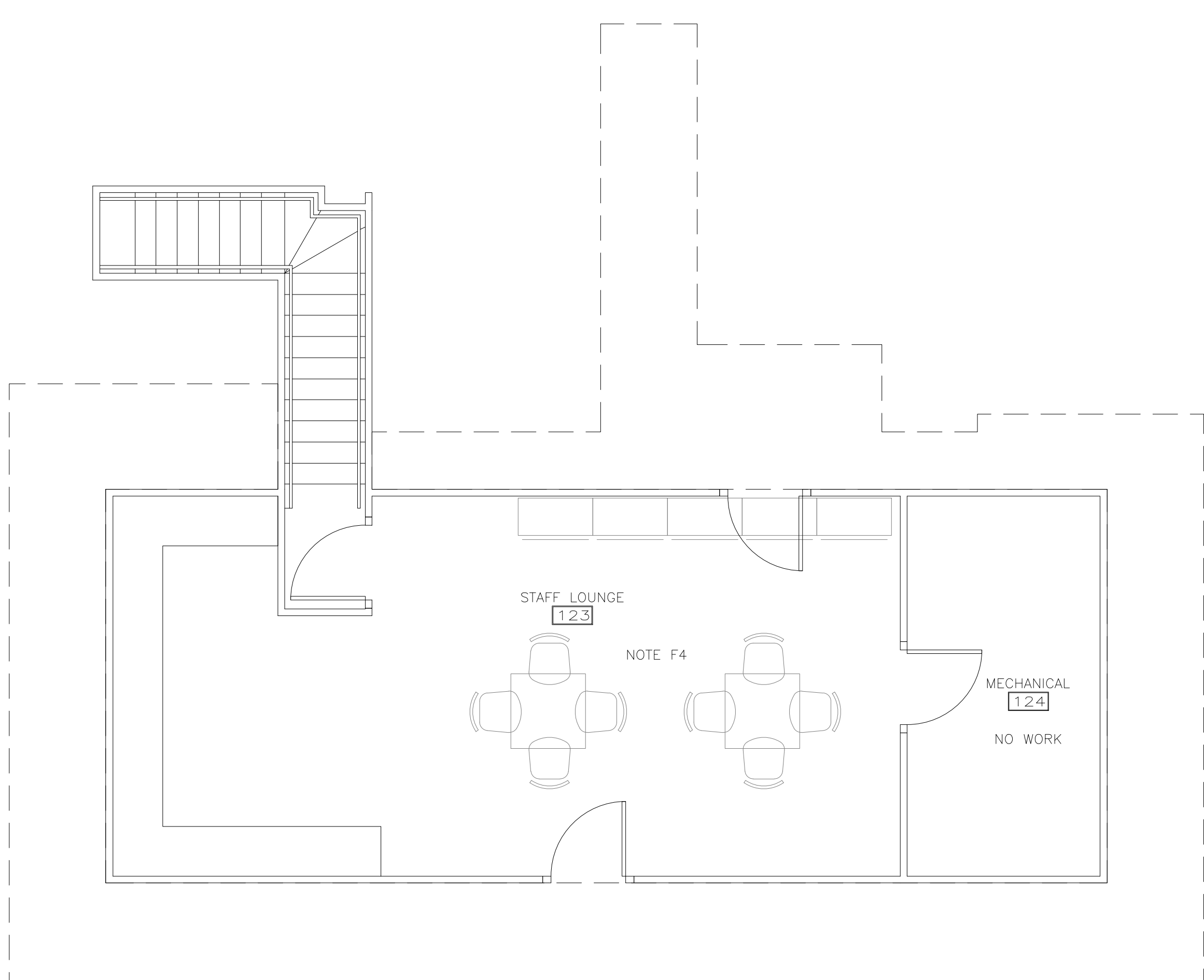
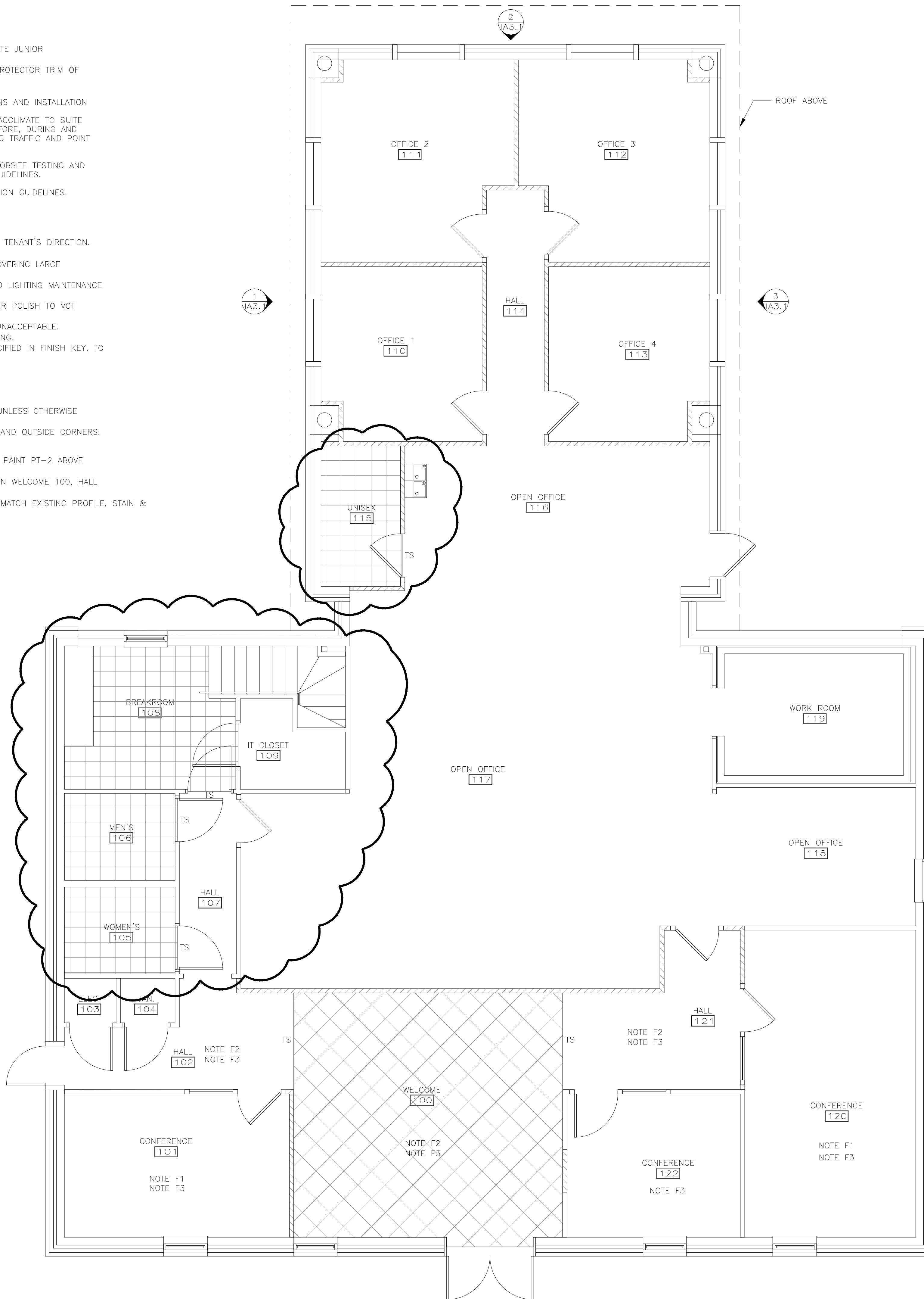
IA1.3

LEGEND

TS	TRANSITION STRIP	ABBREVIATIONS
AP	acrylic panel	
B	base	
CC	cubicle curtain	
CPT	carpet	
CT	ceramic tile	
CTB	ceramic tile base	
GP	glass panel	
L	plastic laminate	
LVT	luxury vinyl tile	
M	melamine	
PT	paint	
SDT	static dissipative tile	
SS	solid surface	
ST	stone	
SV	sheet vinyl	
TB	tack board	
TS	transition strip	
VCT	vinyl composition tile	
VP	vinyl plank floor	
WC	wallcovering	
WP	wall panel	
1 1A3.1	ELEVATION MARKER	

FINISH NOTES:

- GENERAL:**
- TRANSITION STRIP COLOR FROM CARPET TO RESILIENT FLOORING TO BE JOHNSONITE JUNIOR CARPET-TO-RESILIENT ADAPTOR, CTA--XX--C, COLOR: TBD. COLOR PALETTE "A".
 - TRANSITION STRIP COLOR FROM CARPET TO CERAMIC TILE TO BE BLANKE EDGE PROTECTOR TRIM OF METAL, FINISH: TBD.
 - SEE FINISH PLAN FOR LOCATION OF ACCENT WALLS.
 - INSTALL ALL VINYL TILE AND PLANK FLOORING PER MANUFACTURERS SPECIFICATIONS AND INSTALLATION GUIDELINES. **SPECIAL NOTES:**
- CONTRACTOR TO PROVIDE TIMING IN PROJECT FOR FLOORING MATERIALS TO ACCLIMATE TO SUITE CLIMATE SET AT 64-81 DEGREES F., AND 50% ± 10% RH FOR 48 HRS BEFORE, DURING AND AFTER INSTALL. PROTECT FLOORING FROM ALL TRAFFIC FOR 24 HRS, ROLLING TRAFFIC AND POINT LOADS FOR 48 HRS. DO NOT WASH FLOORING FOR 5 DAYS AFTER INSTALL.**
- CONTRACTOR TO ENSURE CONCRETE SUBFLOORS MEET REQUIREMENTS FOR JOBSITE TESTING AND SUBFLOOR PREPARATIONS IN THE MANUFACTURERS PRODUCT INSTALLATION GUIDELINES.**
- CONTRACTOR TO PERFORM MOISTURE AND ALKALINITY TESTING PER INSTALLATION GUIDELINES.**
- ALL TILE FLOORING TO BE LEVEL WITH SMOOTH TRANSITIONS.
 - PROVIDE AND INSTALL FLOORING IN THE PATTERN/DIRECTION SHOWN.
 - INSTALL ALL FINISH MATERIALS PER MANUFACTURERS' SPECIFICATIONS.
 - PROVIDE 5% ATTIC STOCK OF WALLCOVERING AND PAINT FOR TENANT. STORE PER TENANT'S DIRECTION.
 - PROVIDE 5% ATTIC STOCK OF TILE FOR TENANT. STORE PER TENANT'S DIRECTION.
 - LEAVE ALL REMAINING PAINT (RE-SEAL CANS), FLOORING, WALL BASE AND WALLCOVERING LARGE REMNANTS WITH TENANT FOR ATTIC STOCK. LABEL WITH FINISH KEY INFO.
 - CONTRACTOR TO SUBMIT FLOORING, WALLCOVERING, LAMINATE, SOLID SURFACE AND LIGHTING MAINTENANCE SPECIFICATION SHEETS TO CLIENT AT CLOSE OF PROJECT
 - CONTRACTOR TO APPLY 3 COATS OF HIGH-QUALITY, CROSS-LINKED ACRYLIC FLOOR POLISH TO VCT FLOORS, PER MANUFACTURER'S SPECIFICATIONS.
 - FLOORING CONTRACTOR TO NOTIFY GENERAL CONTRACTOR IF CONCRETE SLAB IS UNACCEPTABLE.
 - PAINTER TO REMOVE PAINT OFF CONCRETE SLAB BEFORE INSTALLATION OF FLOORING.
 - CONTRACTOR IS TO SUPPLY MAINTENANCE MANUALS, COVERING ALL FINISHES SPECIFIED IN FINISH KEY, TO CLIENT.
 - GENERAL CONTRACTOR TO BE RESPONSIBLE FOR FLOOR PREP.
 - CONCRETE SLAB TO BE CLEAN, DRY, AND FREE OF CURING AGENTS.
 - SEE REFLECTED CEILING PLAN FOR SOFFIT PAINT LOCATIONS.
 - IN AREAS WITH CARPET: DO NOT WRAP CASEWORK WITH VINYL BASE.
 - IN AREAS WITH RESILIENT FLOOR: WRAP CASEWORK WITH VINYL BASE SPECIFIED, UNLESS OTHERWISE NOTED.
 - WHERE MILLWORKS WALL BASE IS SPECIFIED, CONTRACTOR TO MITER-CUT INSIDE AND OUTSIDE CORNERS.
- SPECIFIC:**
- F1. INSTALL TO MATCH TO EXISTING 4" CROWN MOLDING, AND MATCHING WOOD BASE. PAINT PT-2 ABOVE CHAIR RAIL AND PT-3 BELOW.
 - F2. INSTALL TO MATCH TO EXISTING 6" CROWN MOLDING AND MATCHING WOOD BASE IN WELCOME 100, HALL 102, AND HALL 121.
 - F3. INSTALL CHAIR RAIL SALVAGED FROM DEMO. IF EXTRA LINEAR LENGTH IS NEEDED MATCH EXISTING PROFILE, STAIN & WOOD SPECIES..
 - F4. INSTALL CARPET FROM FIRST FLOOR CARPET TILES REMOVED IN DEMO PHASE.



PRICING SET

job number
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**6109 BRASHER BLVD.
 MECHANICSVILLE, VA**

sheet title
**FINISH PLAN AND NOTES/
 LEGEND**

drawn by
 C.FLETCHER
 CERT # N/A
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FINISH PLAN
 SCALE: 1/8"=1'-0"
 PROJECT
 NORTH

1A1.4

DOOR NOTES:

- GENERAL:
- CONTRACTOR TO PROVIDE AND INSTALL FLOOR STOPS AT ALL DOORS.
 - ALL NEW AND EXISTING DOORS TO HAVE BUILDING STANDARD ADA HARDWARE.
 - ALL NEW DOORS TO BE BUILDING STANDARD.
 - ALL DOORS REQUIRE 18"MIN FROM ROOM CORNER TO STRIKE SIDE OF JAMB.
 - CONTRACTOR TO INSPECT ALL NEW DOORS FOR COLOR/STAIN CONSISTENCY. DOORS ARE TO BE RETURNED IF COLOR/STAIN IS NOT CONSISTENT.
 - DOORS TO BE SOLID CORE, WOOD VENEER, UON. DOORS TO BE: FACTORY FINISH WOOD DOORS. MANUFACTURER AND FINISH: TO MATCH EXISTING.
 - GLAZING IN DOORS AND GLAZING ADJACENT TO DOORS IS TO BE TEMPERED.
 - CONTRACTOR TO NOTE WHICH WALLS ARE TO RECEIVE EXTRA DRYWALL OR INSULATION, AND COORDINATE DOOR FRAME THICKNESS WITH THICKNESS OF WALL.
 - APPLY FROSTED FILM TO CONFERENCE ROOM SIDELITES.
 - ADD SOUND STRIPPING TO DOOR.
 - ADJUST EXISTING DOOR CLOSERS TO LIGHTEN PULL.

- SPECIFIC:
- DR1. PROVIDE AND INSTALL MATT NICKEL COAT HOOK ON BACK OF DOOR NOTED. HOOK TO BE HAFELE 845.01.600, MATTE NICKEL DECORATIVE HOOK. HOOK TO BE INSTALLED AT 72" AFF. COORDINATE DOOR AND DOOR STOP PLACEMENT TO MAKE SURE HOOK DOES NOT CONTACT WALL WHEN DOOR IS OPEN.
- DR2. DOOR TO HAVE AUTOMATIC CLOSER.
- DR3. REUSE EXISTING TYPE E DOOR.
- DR4. REUSE EXISTING TYPE D DOOR.
- DR5. NEW DOOR TO MATCH EXISTING TYPE D.
- DR6. ALL LOCKS AND LATCHES INSTALLED ON REQUIRED EXIT/EGRESS DOORS SHALL COMPLY WITH THE PROVISIONS OF VUSBC 2012 AND IBC 2012 CODES, SECTION 1008.1 "DOORS".

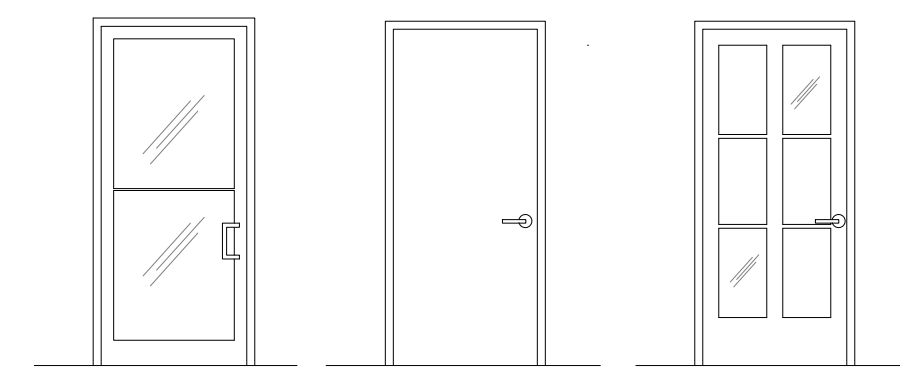
LOCKSET DESCRIPTIONS

PASSAGE LATCH
 - FOR DOORS THAT DO NOT REQUIRE LOCKING.
 - BOTH LEVERS ALWAYS ACTIVE AND UNLOCKED.

PRIVACY LOCK
 - PUSH-BUTTON LOCKING.
 - TURNING INSIDE LEVER RELEASES PUSH-BUTTON.
 - CAN BE OPENED FROM OUTSIDE WITH SPECIAL KEY OR SMALL SCREWDRIVER.

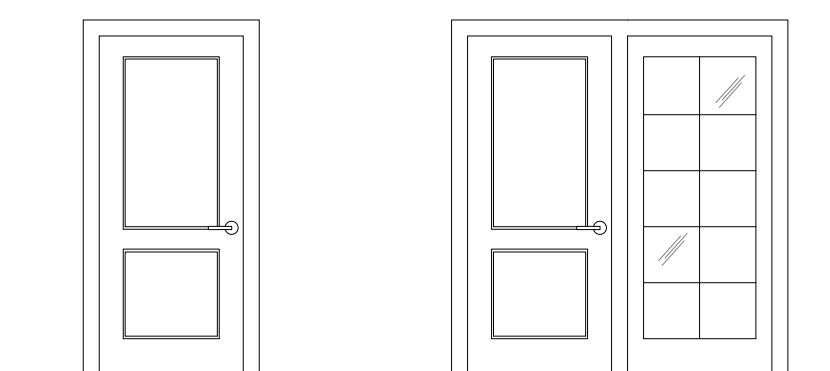
ENTRANCE LOCK
 - INSIDE LEVER ALWAYS ACTIVE.
 - UNLOCKED BY KEY FROM OUTSIDE WHEN LEVER IS LOCKED FROM INSIDE OR OUTSIDE.

OFFICE LOCK
 - FOR CLASSROOM, OFFICE, OR UTILITY ROOM DOORS.
 - INSIDE LEVER LOCKED AND UNLOCKED WITH PUSH BUTTON
 - OUTSIDE LEVER LOCKED AND UNLOCKED BY KEY.



TEMPERED GLASS SINGLE DOOR, STOREFRONT W/ ADA HARDWARE SINGLE DOOR, FLUSH VENEER SINGLE WOOD VENEER W/ GLASS

TYPE A **TYPE B** **TYPE C**



PANEL SOLID CORE DOOR PANEL SOLID CORE DOOR W/ SIDELITE

TYPE D **TYPE E**

DOOR SCHEDULE

DOOR NO.	DOOR SIZE			MATERIAL	TYPE	FRAME	LOCKSET	REMARKS
	WIDTH	HEIGHT	THK					
01	3'-0"	7'-0"	1 3/4"	WD.VENEER/GLASS	E	MATCH EXIST.	PASSAGE	NOTE DR3
10	3'-0"	7'-0"	1 3/4"	WD.VENEER	D	MATCH EXIST.	OFFICE	NOTE DR1, DR4
11	3'-0"	7'-0"	1 3/4"	WD.VENEER	D	MATCH EXIST.	OFFICE	NOTE DR1, DR4
12	3'-0"	7'-0"	1 3/4"	WD.VENEER	D	MATCH EXIST.	OFFICE	NOTE DR1, DR4
13	3'-0"	7'-0"	1 3/4"	WD.VENEER	D	MATCH EXIST.	OFFICE	NOTE DR1, DR5
15	3'-0"	7'-0"	1 3/4"	WD.VENEER	B	MATCH EXIST.	PRIVACY	NOTE DR1, DR2
16	3'-0"	7'-0"	1 3/4"	TEMP.GLASS	A	ALUM.	ENTRANCE	NOTE DR2, DR6
17A	3'-0"	7'-0"	1 3/4"	WD.VENEER/GLASS	C	MATCH EXIST.	PASSAGE	NOTE DR2
17B	3'-0"	7'-0"	1 3/4"	WD.VENEER/GLASS	C	MATCH EXIST.	PASSAGE	NOTE DR2
19	3'-0"	7'-0"	1 3/4"	WD.VENEER/GLASS	E	MATCH EXIST.	PASSAGE	NOTE DR3

LIGHT FIXTURE SCHEDULE

	TYPE	DESCRIPTION	SPECIFICATION	NOTES
A	⊙	6" DIAMETER RECESSED LED DOWNLIGHT	ARCHITECTURAL DOWNLIGHT APPROX. 2000 LUMEN - SPEC. TBD	ON DIMMER SWITCH; WHITE TRIM
B	⊙	6" DIAMETER RECESSED LED DOWNLIGHT	ARCHITECTURAL DOWNLIGHT APPROX. 2000 LUMEN - SPEC. TBD	WHITE TRIM
C	▭	2X4 DIRECT/INDIRECT LED	TBD	
D	▭	2X2 DIRECT/INDIRECT LED	TBD	
E	▭	2X4 EXISTING FLUORESCENT	EXISTING TO BE REUSED	
F	▭	2X2 EXISTING FLUORESCENT	EXISTING TO BE REUSED	
G	⊗	SINGLE SIDED EXIT W/ ARROWS AS SPECIFIED ON PLAN.	MATCH EXISTING	MATCH EXISTING
H	⊗	DOUBLE SIDED EXIT W/ ARROWS AS SPECIFIED ON PLAN	MATCH EXISTING	MATCH EXISTING
I	⊕	FLUORESCENT WALL SCONCE ABOVE RESTROOM MIRRORS	TBD	BUDGET \$250 FIXTURE COST SEE ELECTRICAL PLAN FOR HEIGHT; CENTER ABOVE SINK AND MIRROR.
J	⊕	FLUORESCENT PENDANTS OVER RECEPTION	TBD	BUDGET \$250 FIXTURE COST SEE ELECTRICAL PLAN FOR HEIGHT; TO BE CENTERED OVER TRANSACTION TOP.

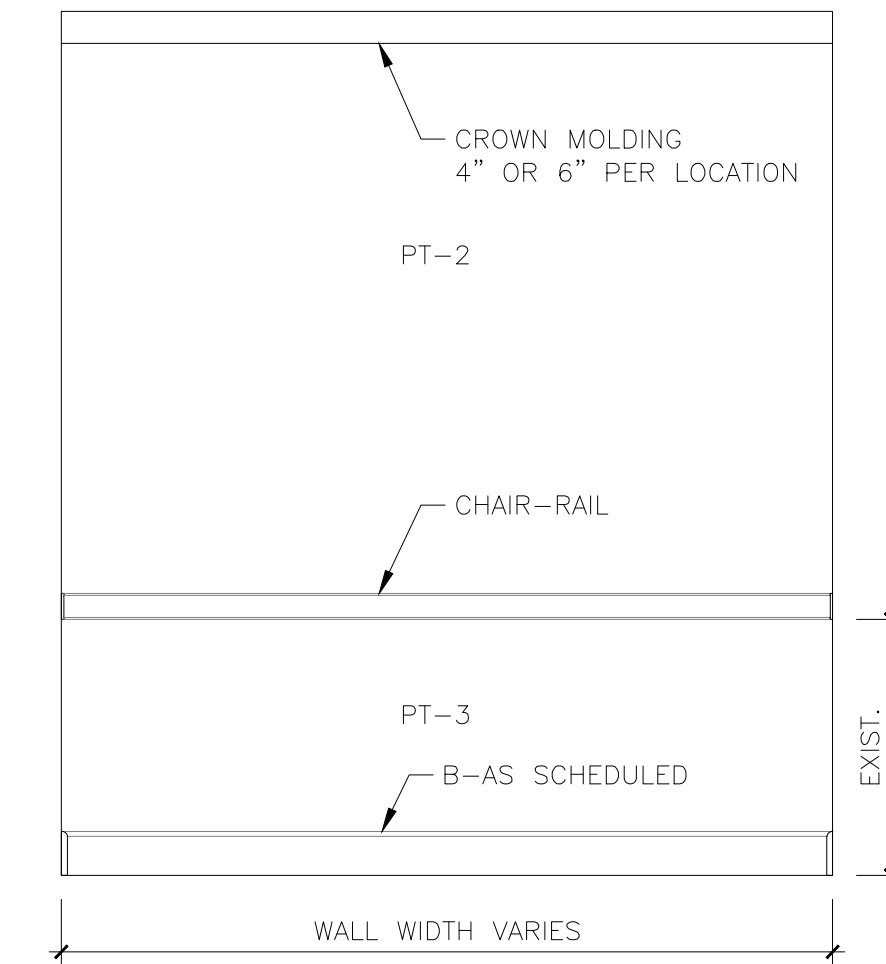
FINISH KEY FOR PRICING ONLY

KEY	MANUFACTURER	PRODUCT #	COLOR	REMARKS
ACT-1	ARMSTRONG	BP 1732 15	WHITE	ACT SIZE: 24"x24"x5/8" - TO MATCH EXIST.
B-1	JOHNSONITE MILLWORK	129 AMBASSADOR PROFILE	SILK	4" HIGH - 8FT. LENGTHS
B-2	JOHNSONITE	129	SILK	4" HIGH ROLL GOODS ONLY, 1/8" GAUGE
CPT-1	CAMBRIDGE COMMERCIAL CARPETS	PORTFOLIO	PTF23 BONDS	---
CT-1	DALTILE	PV-02	CHAMPAGNE	20"x20" TILES; INSTALLED AT 45 DEGREE ANGLE WITH 3/16" EPOXY GROUT JOINT: MAPEI #11
L-1	WILSONART	7054-60	WILD CHERRY	RECEPTION CASEWORK
L-2	WILSONART	2932-60	ALMOND LEATHER	---
LVT-1	TBD	TBD	TBD	BUDGET \$6 PER SQ.FT. INSTALL COST
M-1	---	---	---	---
PT-1	BENJAMIN MOORE	HC-27	MONTEREY WHITE	TRIM PAINT, FINISH: SEMI-GLOSS
PT-2	BENJAMIN MOORE	HC-26	MONROE BISQUE	WALL PAINT, FINISH: PEARL
PT-3	BENJAMIN MOORE	HC-44	LENEX TAN	WALL PAINT, FINISH: PEARL
SS-1	ZODIAQ	---	SPACE BLACK	RECEPTION TRANSACTION TOP ONLY, SQUARE EDGE
VCT-1	MANNINGTON ESSENTIALS	131	OYSTER WHITE	12"x12" VINYL TILE; INSTALL: MONOLITHIC
WC-1	NATIONAL WALLCOVERING	COLOUR & DESIGN CD2-KDN-01	FLAX	TLT #106/ RANDOM MATCH REVERSIBLE PATTERN 54" WIDE

FINISH SCHEDULE

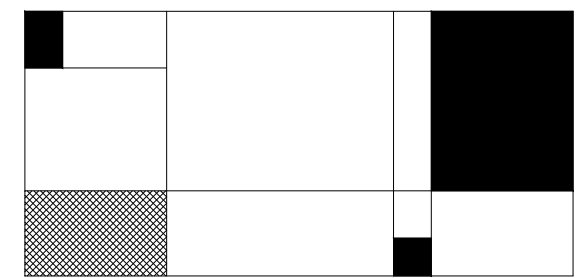
ROOM NO	ROOM NAME	FLOOR	BASE	WALLS				TRIM	MILLWORK			REMARKS
				N	E	S	W		SHELVES	TOPS	CABINETS	
100	WELCOME	CT-1	EXIST.	PT-2	PT-1,PT-2,PT-3	PT-1,PT-2,PT-3	PT-1,PT-2,PT-3	EXIST.		L-1,SS-1	L-1	NOTE F2, F3
101	CONFERENCE	CPT-1	EXIST.	PT-1,PT-2,PT-3	PT-1,PT-2,PT-3	PT-1,PT-2,PT-3	PT-1,PT-2,PT-3	EXIST.				NOTE F1, F3
102	HALL	CPT-1	EXIST.	PT-2	PT-2	PT-2	PT-2	EXIST.				NOTE F2, F3
103	ELEC.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.				
104	JAN.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.				
105	WOMEN'S	LVT-1	B-2	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.				
106	MEN'S	LVT-1	B-2	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.				
107	HALL	CPT-1	EXIST.	PT-2	PT-2	PT-2	PT-2	EXIST.				
108	BREAKROOM	LVT-1	B-2	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.				
109	IT CLOSET	EXIST.	EXIST.	PT-2	PT-2	PT-2	PT-2	PT-1				
110	OFFICE 1	CPT-1	B-1	PT-2	PT-2	PT-2	PT-2	PT-1				
111	OFFICE 2	CPT-1	B-1	PT-2	PT-2	PT-2	PT-2	PT-1				
112	OFFICE 3	CPT-1	B-1	PT-2	PT-2	PT-2	PT-2	PT-1				
113	OFFICE 4	CPT-1	B-1	PT-2	PT-2	PT-2	PT-2	PT-1				
114	HALL	CPT-1	B-2	PT-2	PT-2	PT-2	PT-2	PT-1				
115	UNISEX	LVT-1	B-2	WC-1	WC-1	WC-1	WC-1	PT-1				
117	OPEN OFFICE	CPT-1	B-2	PT-2	PT-2	PT-2	PT-2	PT-1				
118	OPEN OFFICE	CPT-1	B-2	PT-2	PT-2	PT-2	PT-2	PT-1				
119	WORK ROOM	CPT-1	B-2	PT-2	PT-2	PT-2	PT-2	PT-1				
120	CONFERENCE	CPT-1	EXIST.	PT-2,PT-3	PT-2,PT-3	PT-2,PT-3	PT-2,PT-3	EXIST.				NOTE F1, F3
121	HALL	CPT-1	EXIST.	PT-2	PT-2	PT-2	PT-2	EXIST.				NOTE F2, F3
122	CONFERENCE	CPT-1	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.				
123	STAFF LOUNGE	CPT-1	B-2	PT-2	PT-2	PT-2	PT-2	PT-1				NOTE F4
124	MECHANICAL	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.				

WOOD PROFILES:



TYP. CHAIR RAIL DETAIL

SCALE: 1/2"=1'-0"



Hummel Associates
 ARCHITECTURE
 SPACE PLANNING
 INTERIOR DESIGN

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PRICING SET

Job number

16-008

**ALLEN, ALLEN, ALLEN &
 ALLEN LAW OFFICE**

**6109 BRASHER BLVD.
 MECHANICSVILLE, VA**

sheet title

**DOOR SCHEDULE AND
 TYPES/ DOOR NOTES/
 LIGHT FIXTURE SCHEDULE/
 CHAIR RAIL PROFILE AND
 TYP. DETAIL/ FINISH KEY
 AND SCHEDULE**

drawn by C.FLETCHER file name 16-008_100.DWG
 CERT # N/A

checked by

C.PALMORE
 CERT # 0412-000216
 revision




















date

04/08/2016

sheet number

IA1.5

LEGEND

-  DRYWALL CEILING
-  NEW 2X2 CEILING GRID
-  2X4 RECESSED FLUORESCENT FIXTURE
-  2X4 RECESSED EMERGENCY FLUORESCENT FIXTURE W/ BATT. PACK
-  2X2 RECESSED FLUORESCENT FIXTURE
-  2X2 RECESSED EMERGENCY FLUORESCENT FIXTURE W/ BATT. PACK
-  REUSE EXISTING 2X4 PARABOLIC FLUORESCENT FIXTURE
-  REUSE EXISTING 2X2 PARABOLIC FLUORESCENT FIXTURE
-  EXHAUST FAN
-  DOWNLIGHT WITH DIMMER
-  DOWNLIGHT
-  DECORATIVE PENDANT
-  WALL SCONCE
-  LIGHT SWITCH
-  THREE-WAY LIGHT SWITCH
-  FOUR-WAY LIGHT SWITCH
-  LIGHT SWITCH W/ DIMMER
-  SINGLE SIDED, CEILING MOUNTED EXIT
-  SINGLE OR DOUBLE SIDED, CEILING MOUNTED EXIT W/ DIRECTIONAL ARROWS

REFLECTED CEILING NOTES:

GENERAL:

- CONTRACTOR TO CENTER NEW DOWNLIGHTS IN CEILING TILE.
- CONTRACTOR TO WIPE DOWN ALL PARABOLIC LENS UNITS THROUGHOUT.
- CONTRACTOR TO PAINT ALL G.W.B. CEILINGS WITH CEILING WHITE.
- CEILING HEIGHT TO 9'0" HEIGHT UNLESS OTHERWISE NOTED.
- GRID AND ACOUSTIC TILES TO MATCH EXISTING ARMSTRONG, FINE FISSURED ANGLED TEGULAR HUMIGUARD PLUS, 24"X24"X5/8" TILES, #1732, W/ 15/16" PRELUDE GRID SYSTEM. REUSE TILES IN GOOD CONDITION FROM DEMO IN NEW CEILING GRID LAYOUT.
- EMERGENCY LIGHTING MUST BE WIRED ON SAME CIRCUIT WITH AREA LIGHTING, TO COMPLY WITH NEC 700.12. DO NOT PUT EMERGENCY LIGHTING ON DEDICATED SWITCH.
- ENGINEER TO CALCULATE EXACT QUANTITIES AND LOCATIONS OF LIGHTING W/ BATTERY BACK-UP REQUIRED TO MEET CODE.
- CONTRACTOR TO SECURE 2X2 AND 2X4 FLUORESCENT LIGHTING TO STRUCTURE ABOVE WITH 4 CABLES.
- FACE SIDE AND UNDERSIDE OF DRYWALL HEADERS TO MATCH FINISH OF WALL UNLESS OTHERWISE NOTED ON PLAN.
- DO NOT INSTALL FIBERGLASS INSULATION IN CEILING.
- REFER TO ENGINEERED DRAWINGS FOR ANY ADDED INSULATION NEEDED FOR ADDITION AND ATTIC SPACE.

SPECIFIC:

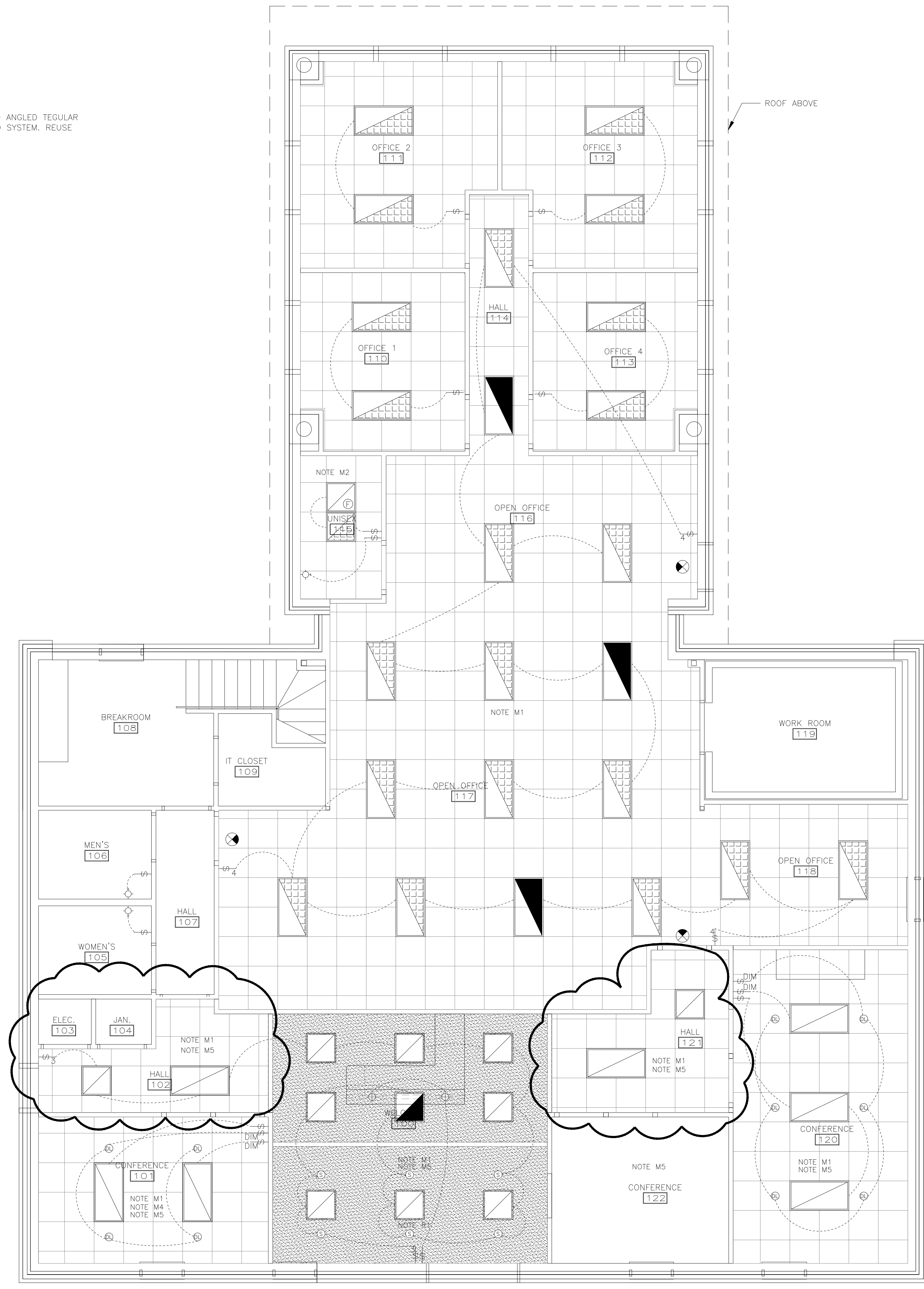
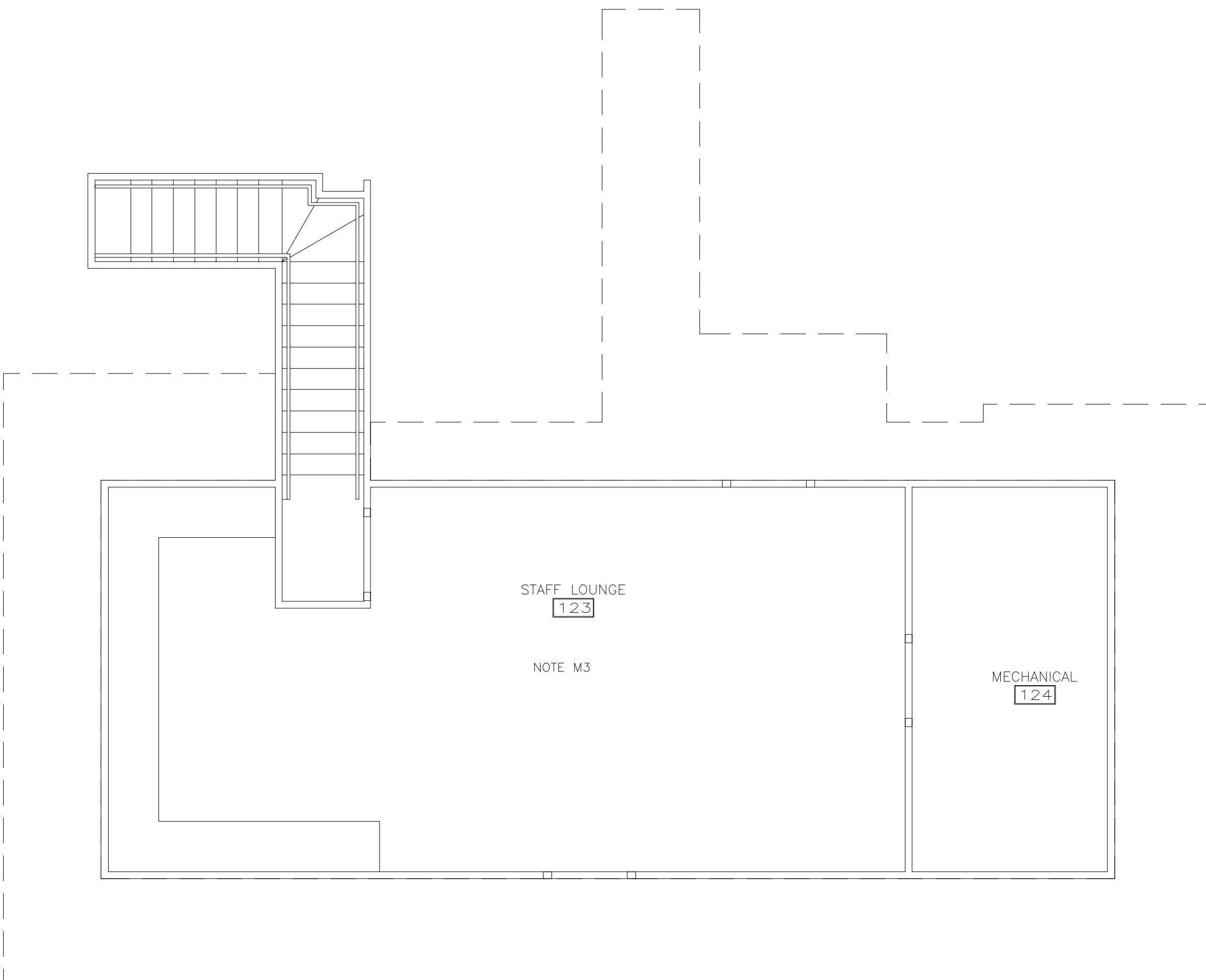
- R1. EXISTING VESTIBULE DRYWALL CEILING HEIGHT TO REMAIN.

HVAC/MECHANICAL NOTES:

- HVAC AND MECHANICAL TO BE ENGINEERED BY AUSTIN, BROCKENBROUGH & ASSOCIATES LLP. SEE ENGINEERED PLANS FOR HVAC INFO.
- BASIC HVAC SYSTEMS REQUIRED TO BE DESIGNED USING ASHRAE STANDARDS AS WELL AS CODES AND STANDARDS OF AUTHORITIES HAVING JURISDICTION.
- PROVIDE EXHAUST FANS TO EXHAUST AIR FROM NEW TOILETS AND OTHER LOCATIONS SHOWN ON THE REFLECTED CEILING PLAN.
- SUBMIT THERMOSTAT LOCATIONS TO DESIGNER FOR APPROVAL.
- CONTRACTOR TO CHECK THAT ALL EXISTING MECHANICAL IS ADEQUATE FOR REUSE.

SPECIFIC:

- M1. RELOCATE EXISTING MECHANICAL TO ACCOMMODATE NEW LAYOUT.
- M2. INSTALL EXHAUST FAN AND VENT THROUGH AND OUT ROOF.
- M3. INSTALL NEW SUFFICIENT HVAC IN ATTIC SPACE.
- M4. CUT DUCT BACK TO NEW FINISH WALL.
- M5. DUCTWORK SUPPLY AND RETURNS TO BE DESIGNED IN A MANNER AS TO MINIMIZE SOUND TRANSMISSION FROM ROOM TO ROOM. CEILING RETURN AIR GRILLS MUST BE EQUIPPED WITH 90 DEGREE GOOSENECK BOOT.



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16-008

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MECHANICSVILLE, VA**

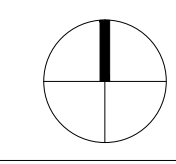
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REFLECTED CEILING PLAN AND NOTES/ LEGEND/ HVAC AND MECHANICAL NOTES

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CERT # N/A
checked by: C.PALMORE
CERT # 0412-000216
revision:

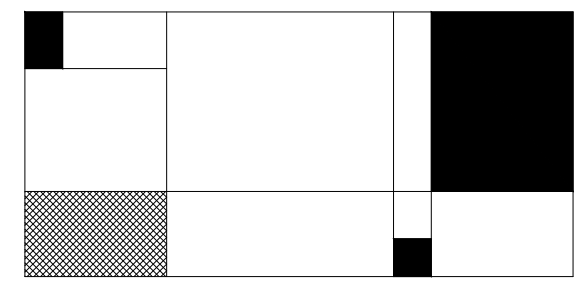
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REFLECTED CEILING PLAN
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PROJECT NORTH



IA2.1



Hummel Associates

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SPACE PLANNING
INTERIOR DESIGN

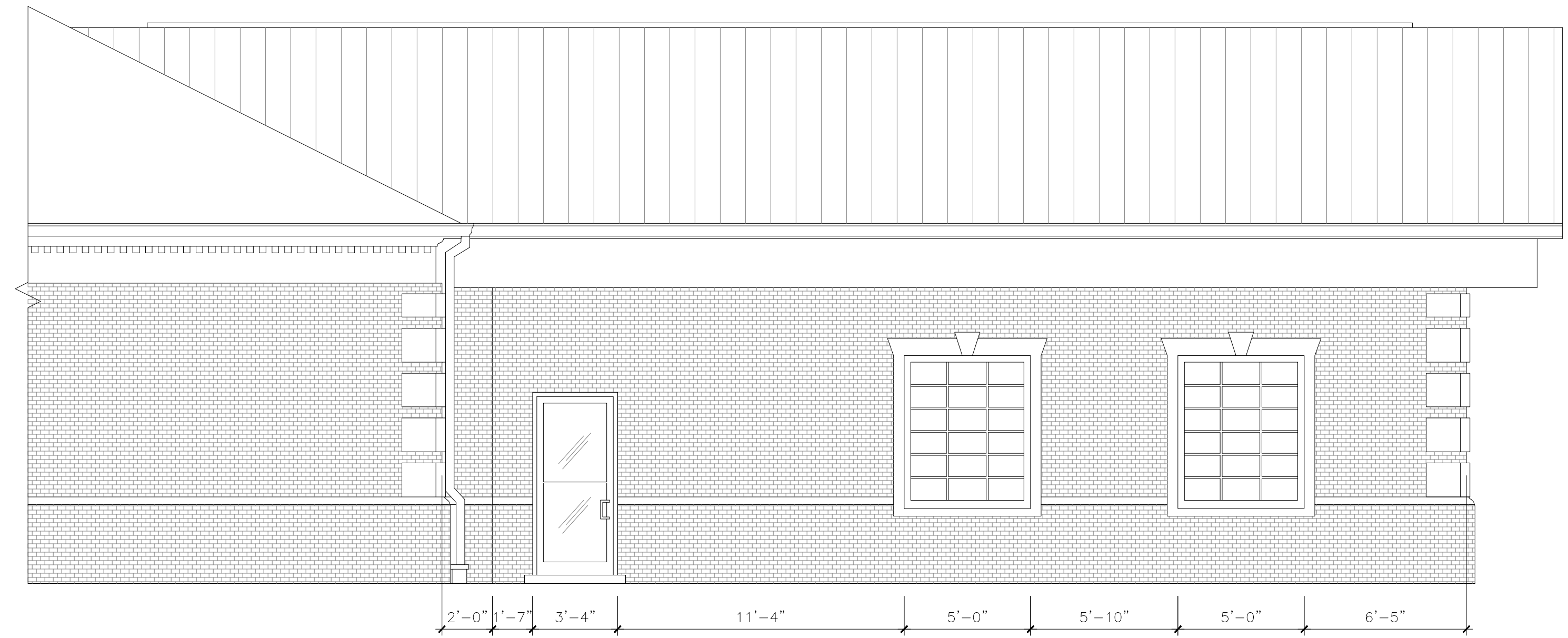
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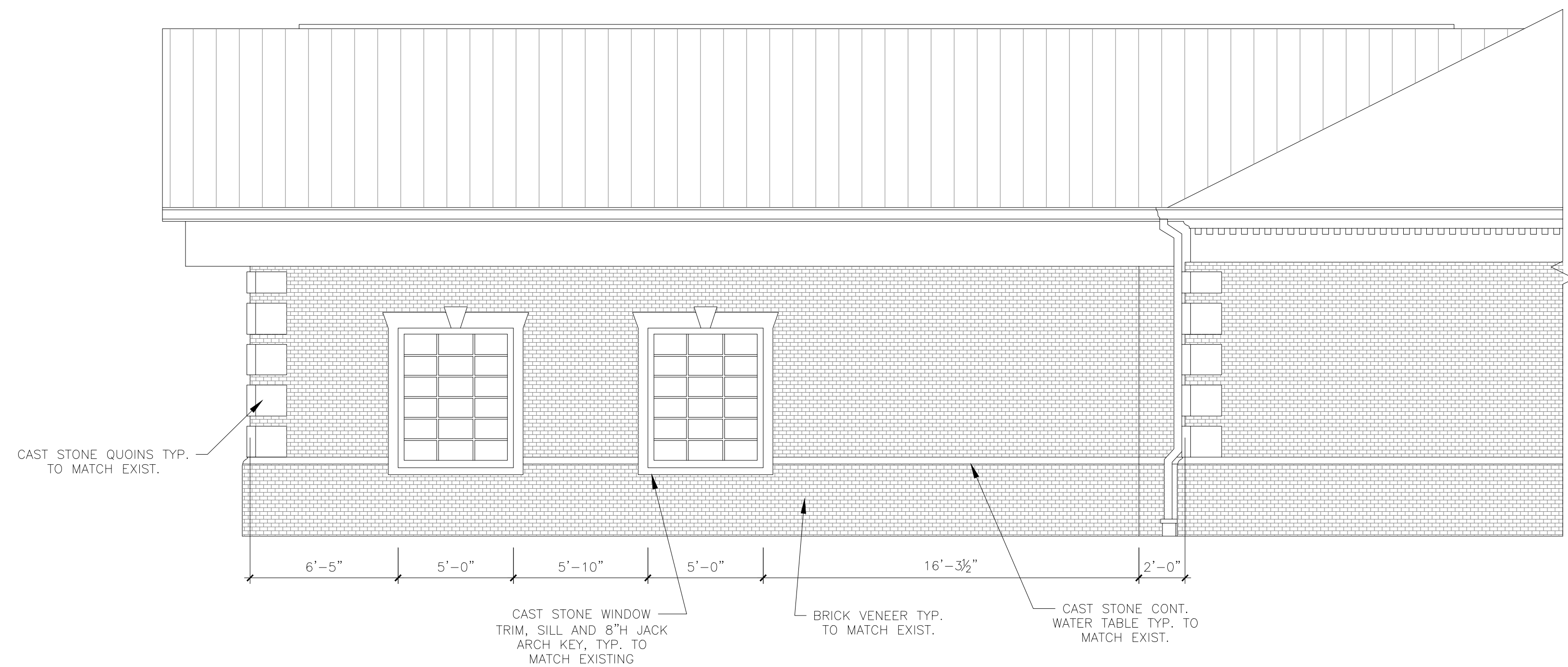
**6109 BRASHER BLVD.
MECHANICSVILLE, VA**



3/IA3.1 ELEVATION
SCALE: 1/4"=1'-0"



2/IA3.1 ELEVATION
SCALE: 1/4"=1'-0"



1/IA3.1 ELEVATION
SCALE: 1/4"=1'-0"

sheet title
EXTERIOR ELEVATIONS

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